



## *Massachusetts ADU Design Challenge | Project Cover Sheet*

### **1. Design Team**

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Lead Applicant: Michael Provost  
Additional Applicants:  
Design Firm Name (If Applicable): Provost Home Design  
Contact Info: mike@provosthomedesign.com

### **2. Design Information**

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EntryID (randomly assigned by HLC for tracking purposes): 1343  
Design Name: Charming Farmhouse Ranch  
ADU Gross Floor Area (square footage): 896  
Unit Layout: Two-Bedroom or more  
ADU Height (feet): 18.23  
Window/Wall Ratio: 7.05  
Foundation Type: Concrete Frost Wall

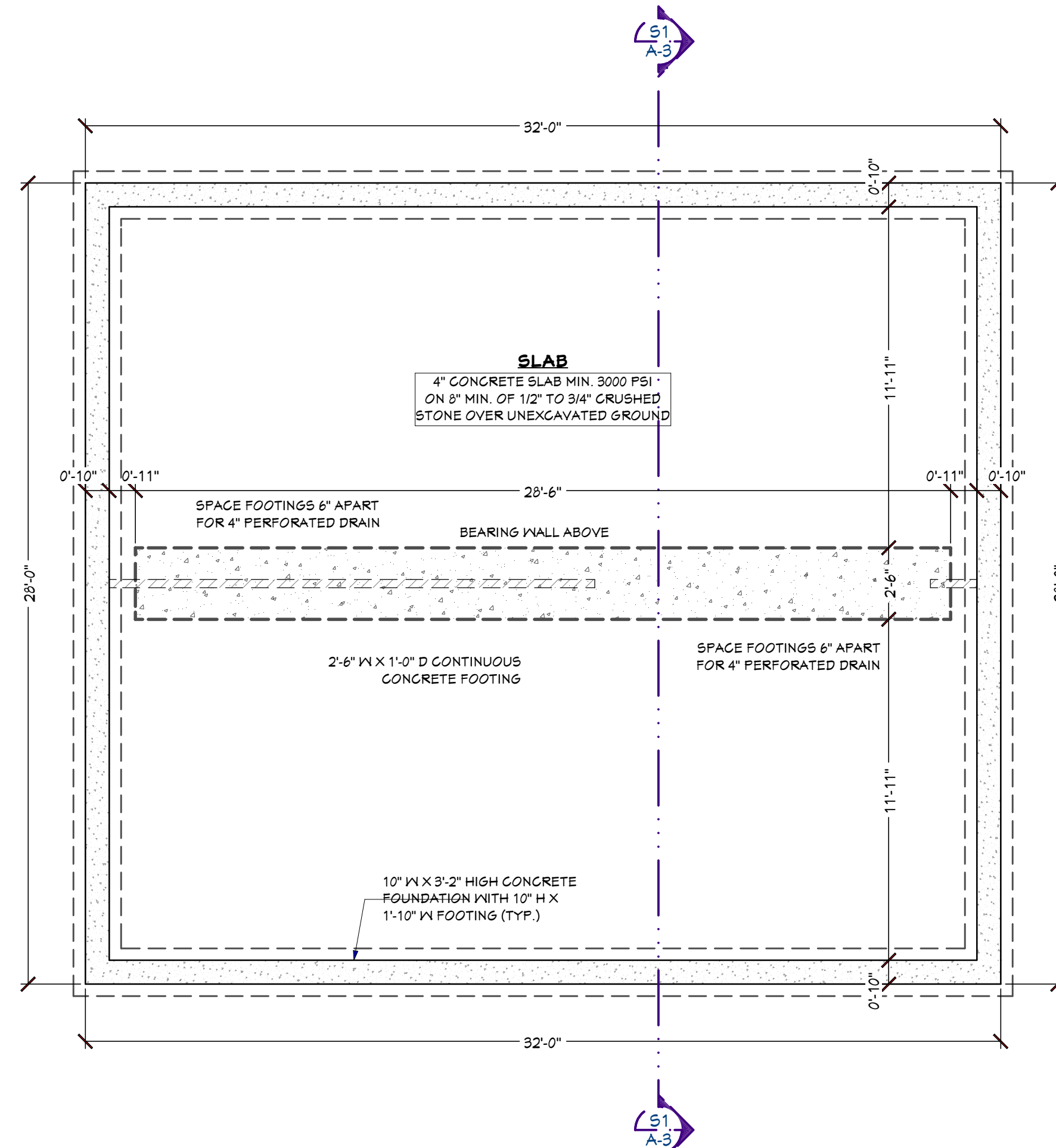
### **3. Project Narrative**

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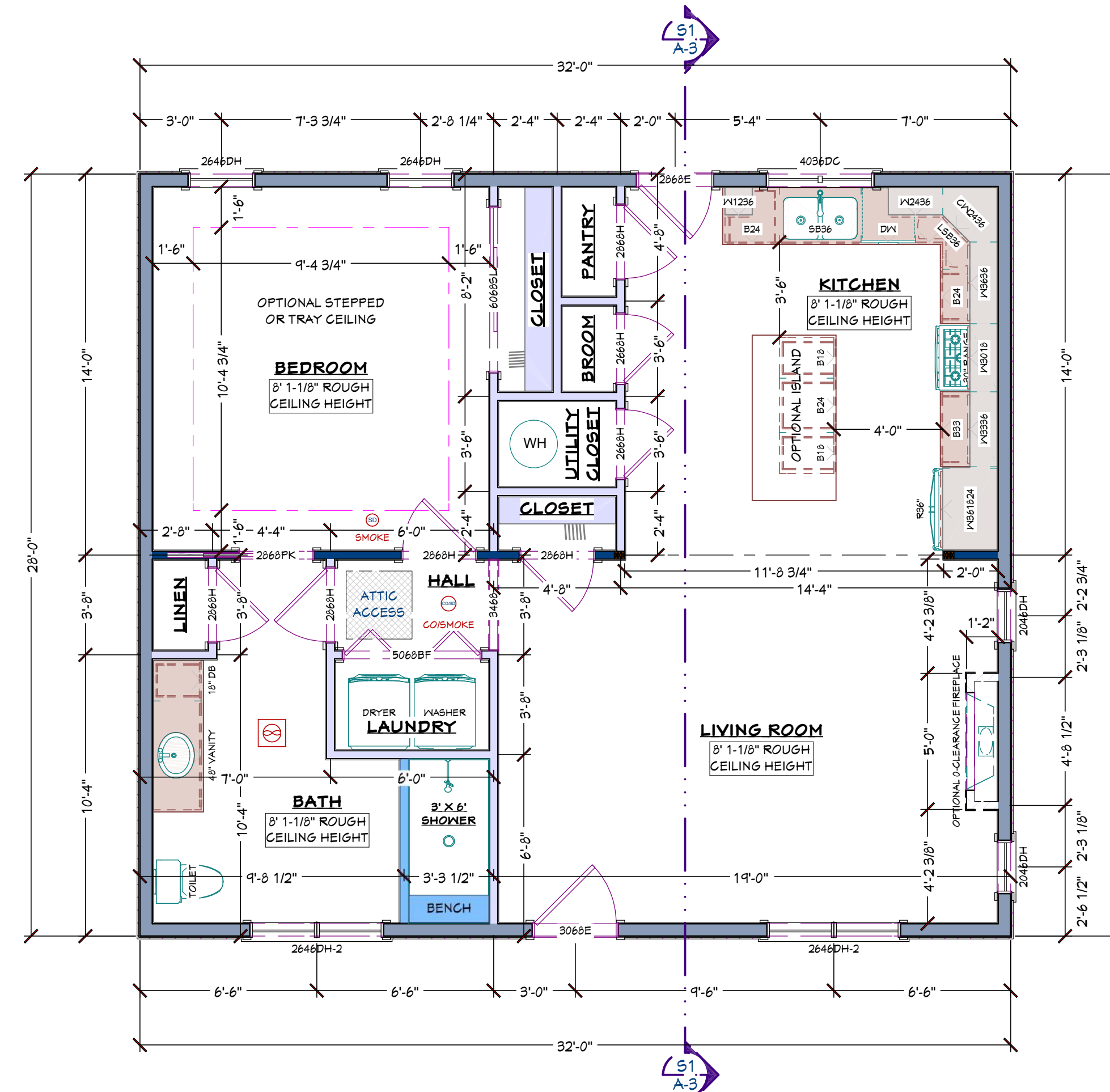
This detached accessory dwelling unit (ADU) is designed as a compact, single-story home that expands housing choice while maintaining compatibility with Massachusetts residential neighborhoods. The approximately 896 sq/ft layout prioritizes efficiency, accessibility, and long-term livability, making it suitable for aging in place, workforce housing, or multigenerational living. The plan features a simple rectangular footprint with a centrally located living area, a full kitchen, one bedroom, a full bathroom, integrated laundry, and ample storage. Clear circulation, generous ceiling heights, and balanced window placement provide comfort, natural light, and privacy. A slab-on-grade foundation and conventional wood-frame construction support cost-effective building and broad site adaptability. The simple gable roof and board & batten exterior reference familiar New England residential forms, ensuring the ADU remains visually subordinate to a primary dwelling.

***Please note that the information contained in this file was submitted to the Executive Office of Housing and Livable Communities (HLC) by ADU Design Challenge participants and has not been independently verified by HLC or the Commonwealth of Massachusetts. Please direct questions to the designers.***

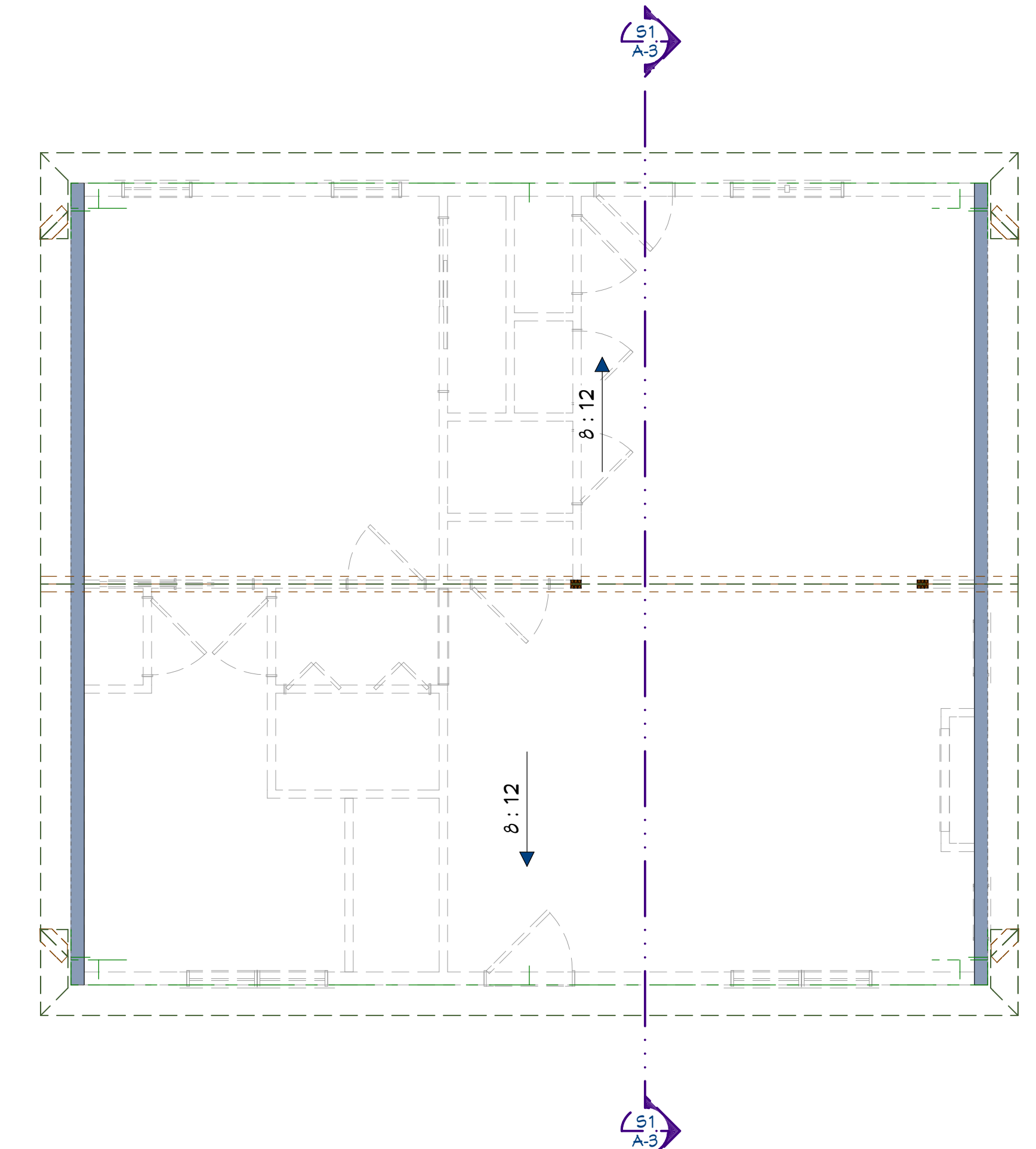
# CHARMING RANCH FARMHOUSE



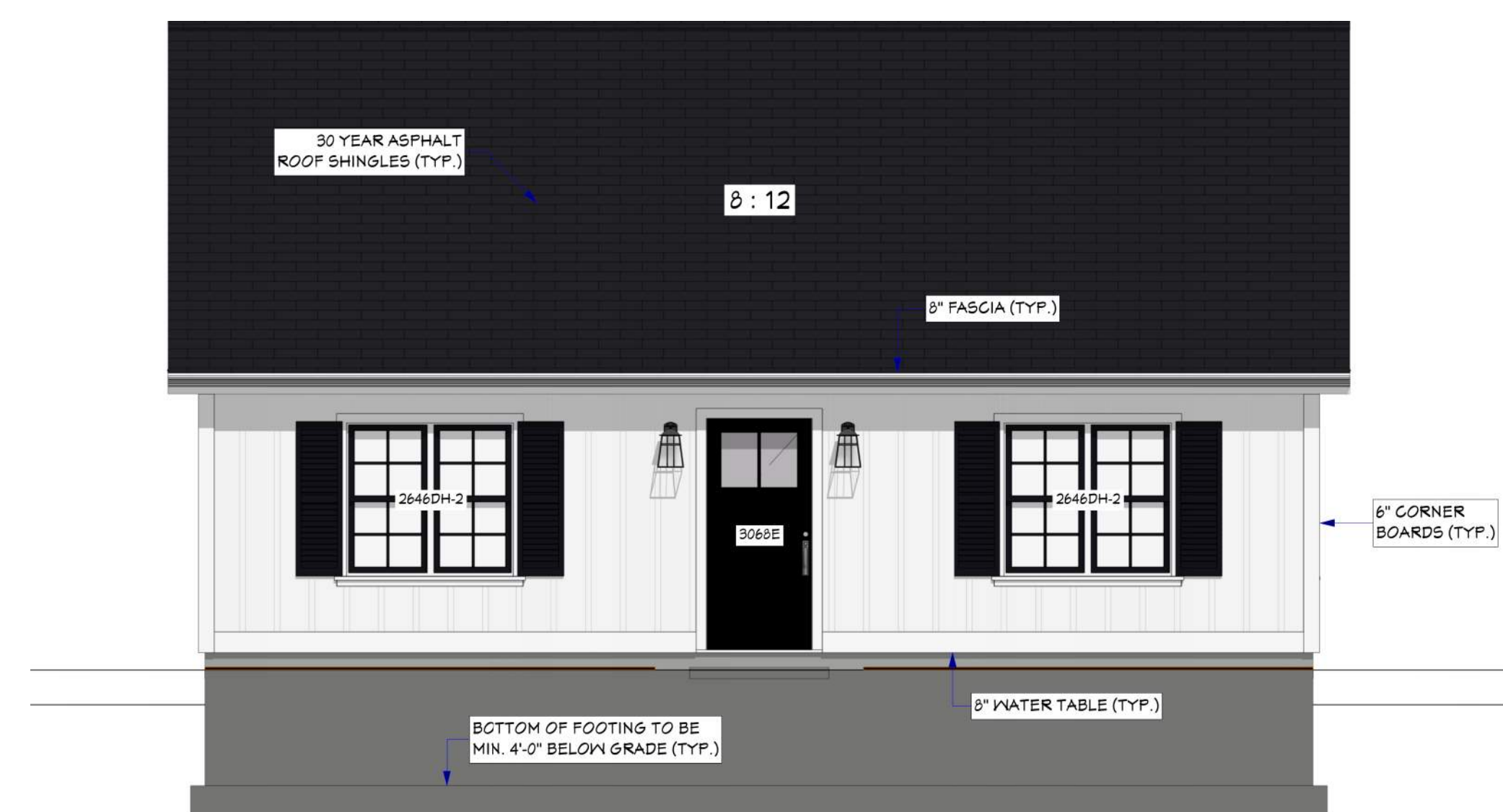
**FOUNDATION PLAN - SCALE: 1/4" = 1'-0"**  
LIVING AREA = 0 sq ft



**ADU FLOOR PLAN - SCALE: 1/4" = 1'-0"**  
LIVING AREA = 896 sq ft



**ROOF OVERVIEW PLAN - SCALE: 1/4" = 1'-0"**

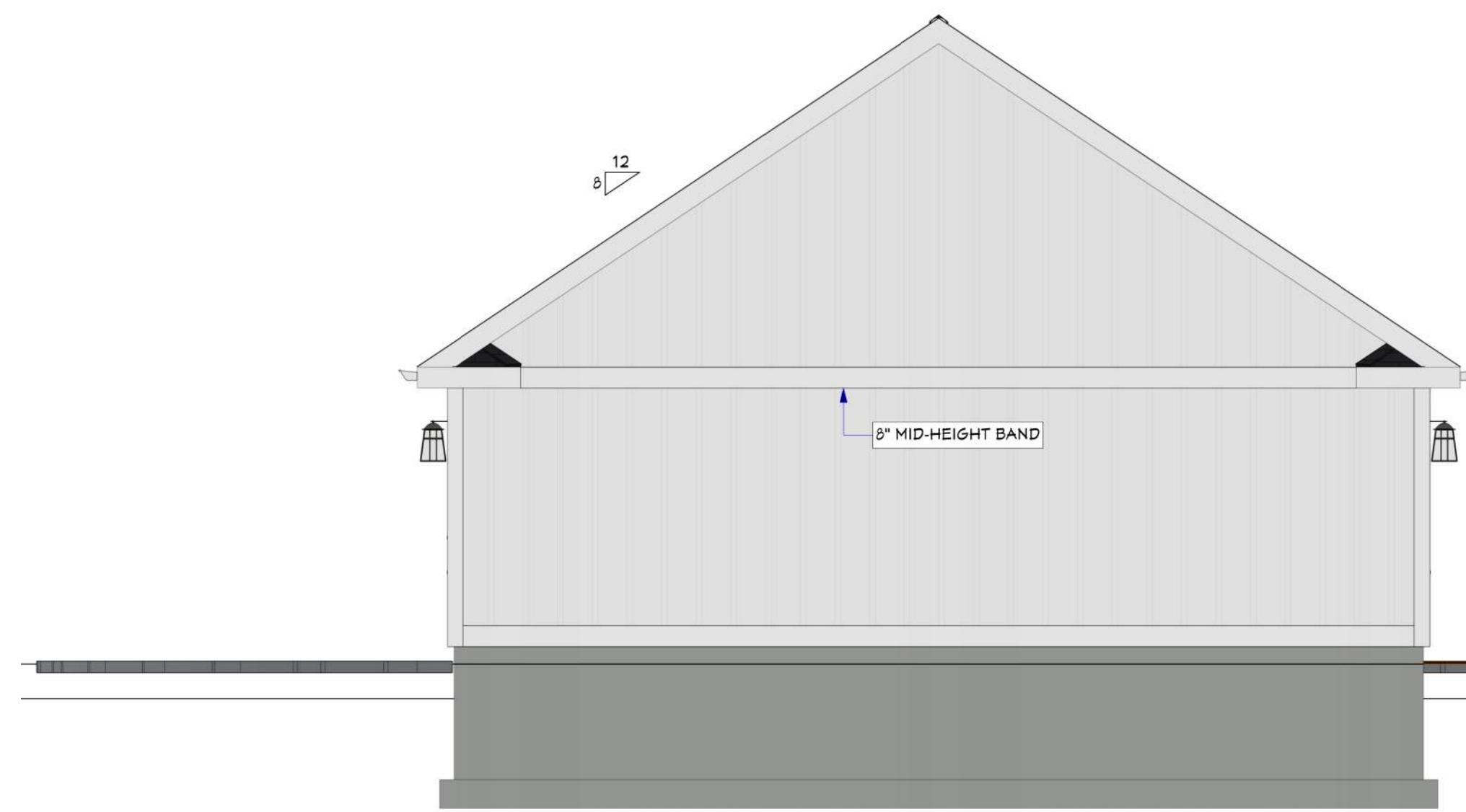


**FRONT ELEVATION - SCALE: 1/4" = 1'-0"**



**REAR ELEVATION - SCALE: 1/4" = 1'-0"**

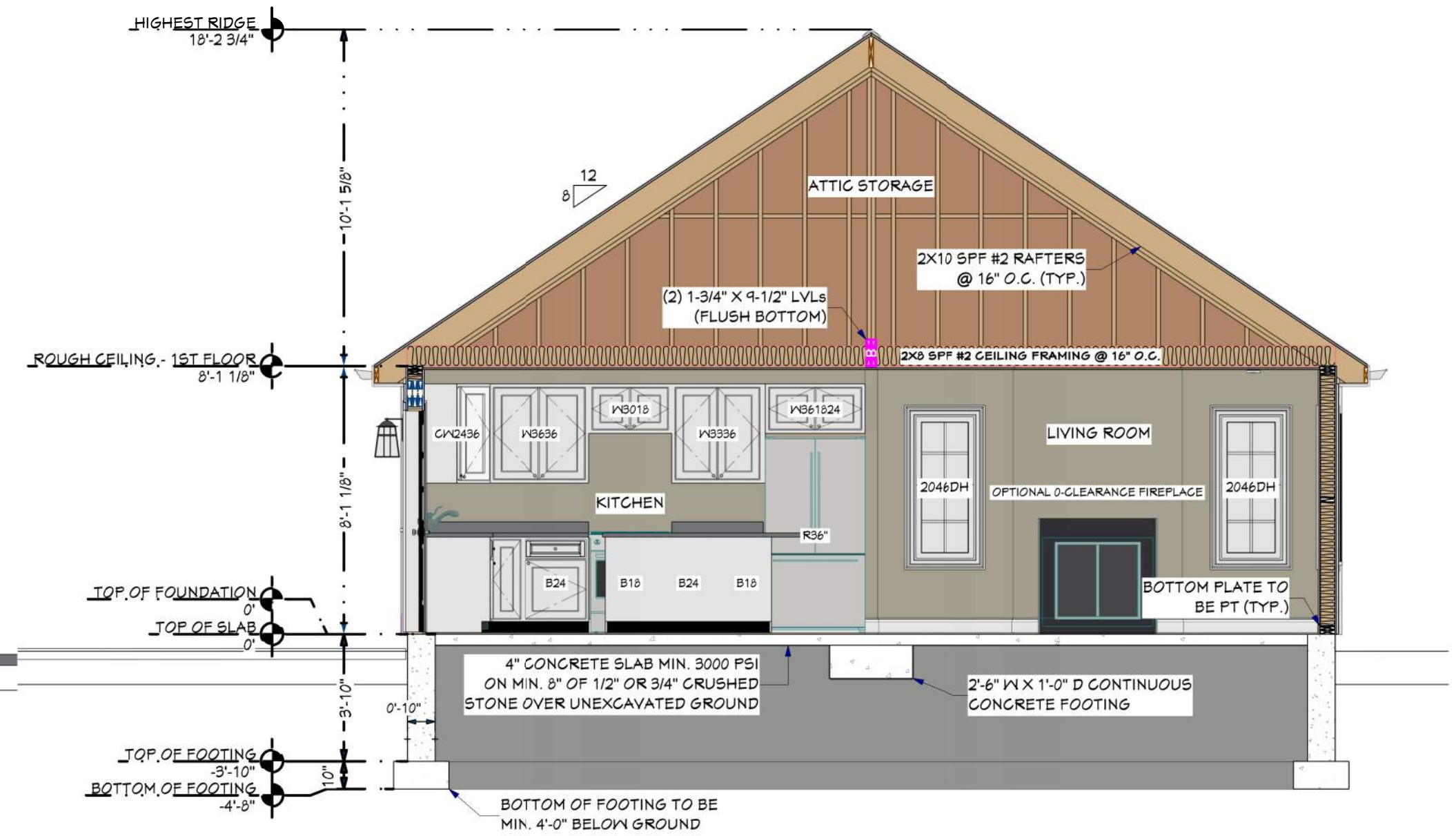
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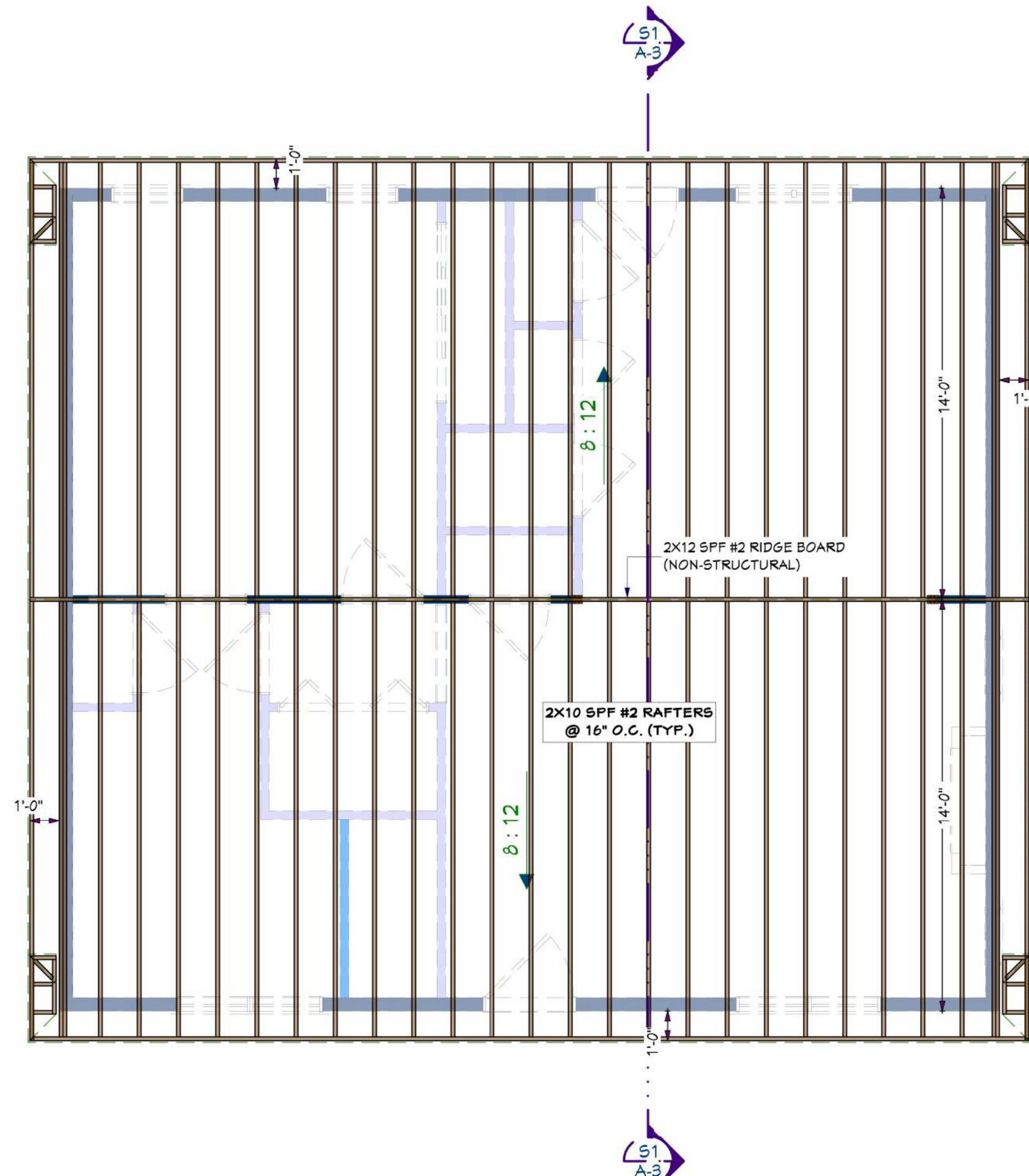
**LEFT ELEVATION - SCALE: 1/4" = 1'-0"**



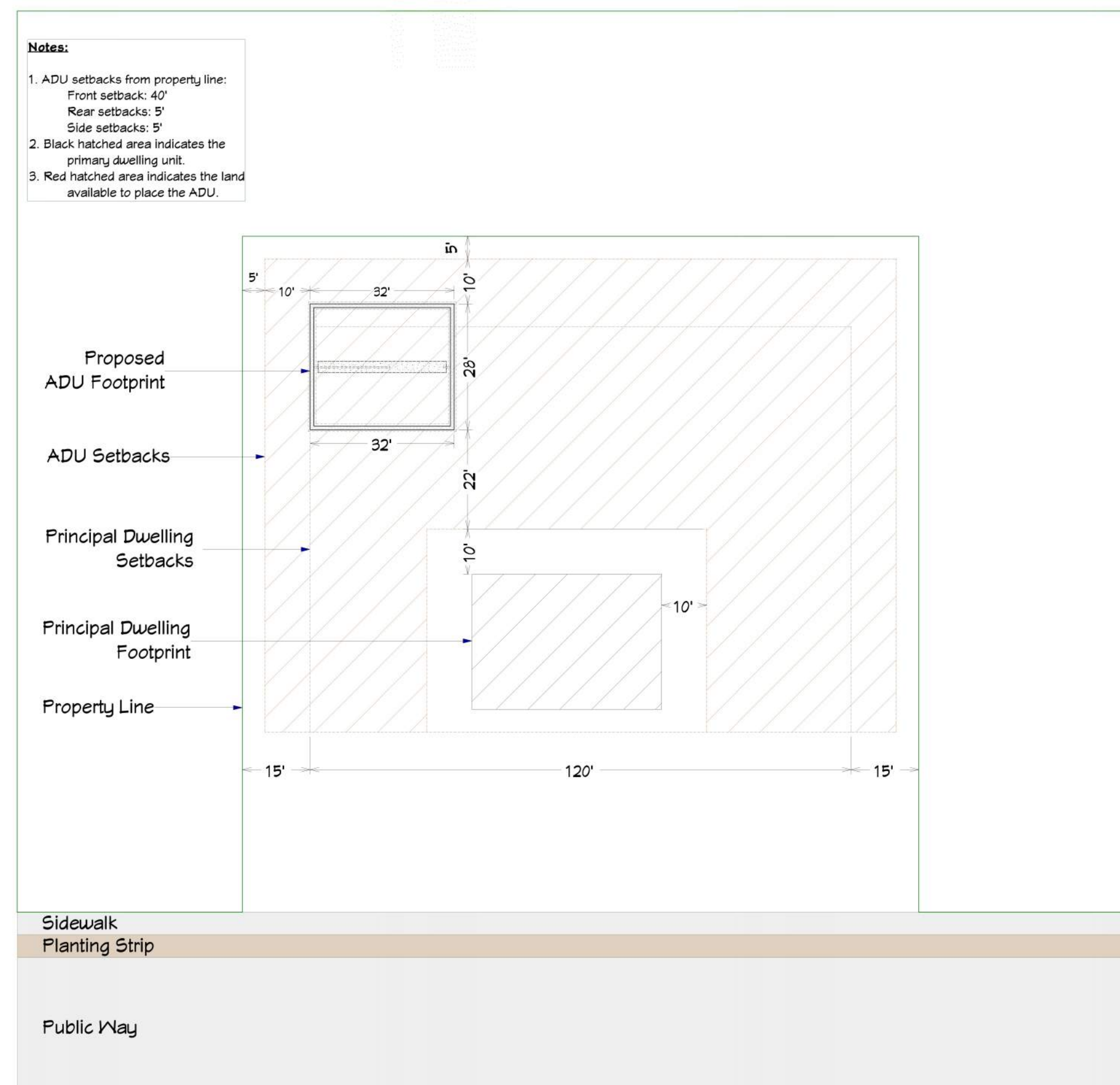
**RIGHT ELEVATION - SCALE: 1/4" = 1'-0"**



**CROSS SECTION S1 - SCALE: 1/4" = 1'-0"**



**ROOF OVERVIEW PLAN - SCALE: 1/4" = 1'-0"**



22,500 sq. ft. Parcel

- Notes:**
- ADU setbacks from property line:  
Front setbacks: 4'-0"  
Rear setbacks: 5'  
Side setbacks: 5'
  - Black hatched area indicates the primary dwelling unit.
  - Red hatched area indicates the land available to place the ADU.

**EXTERIOR SIDING & TRIM:**  
(ALL TRIM SPECIFIED IS OPTIONAL AND TO BE DETERMINED BY GENERAL CONTRACTOR)

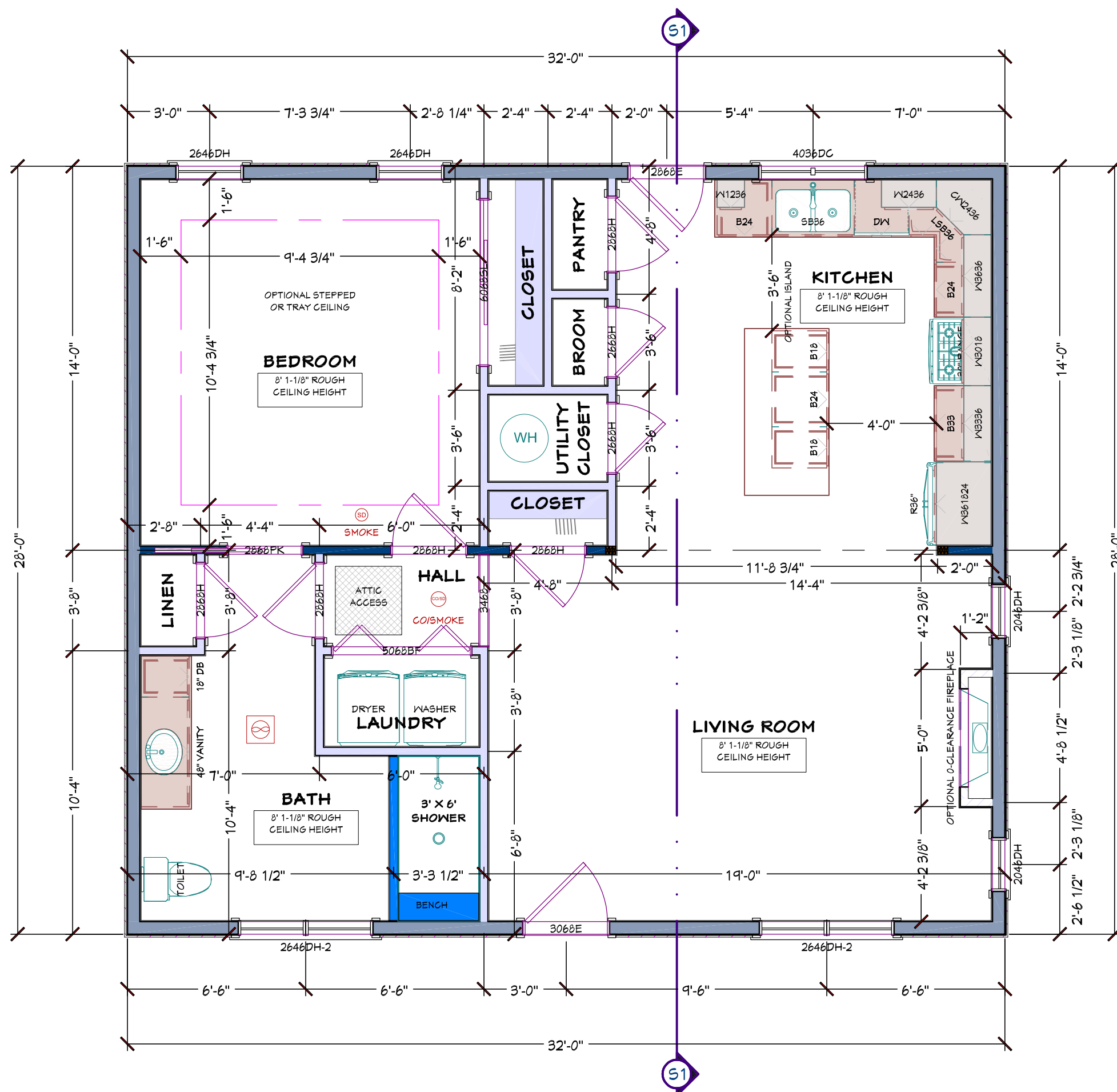
- 5/4X6 CORNER BOARDS
- 5/4X4 WINDOW & DOOR TRIM
- 5/4X8 WATER TABLE
- 1X8 EAVE FASCIA
- 1X8 GABLE FASCIA
- 5/4X8 MID-HEIGHT BAND
- WHITE BOARD & BATTEN SIDING

**Project Narrative**

This detached accessory dwelling unit (ADU) is designed as a compact, single-story home that expands housing choice while maintaining compatibility with Massachusetts residential neighborhoods. The approximately 896-square-foot layout prioritizes efficiency, accessibility, and long-term livability, making it suitable for aging in place, workforce housing, or multigenerational living.

The plan features a simple rectangular footprint with a centrally located living area, a full kitchen, one bedroom, a full bathroom, integrated laundry, and ample storage. Clear circulation, generous ceiling heights, and balanced window placement provide comfort, natural light, and privacy.

A slab-on-grade foundation and conventional wood-frame construction support cost-effective building and broad site adaptability. The simple gable roof and board-and-batten exterior reference familiar New England residential forms, ensuring the ADU remains visually subordinate to a primary dwelling. Overall, the design emphasizes durability, affordability, and neighborhood-appropriate scale while supporting flexible housing



**ADU FLOOR PLAN - SCALE: 1/4" = 1'-0"**  
**LIVING AREA = 896 sq ft**



