



Project Proposal to
The Asset Management Board

Charles F. Hurley Building Redevelopment Project Commonwealth of Massachusetts

APPENDICES

Charles F. Hurley Building
Boston, Massachusetts

February 16, 2021

Proposed by:
The Commonwealth of Massachusetts
Division of Capital Asset Management and Maintenance
Carol W. Gladstone, Commissioner

In Collaboration with

Executive Office of Labor and Workforce Development
Roslin Acosta, Secretary

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**Appendix B: Letter from Secretary of Administration and Finance
Supporting Project and Creation of Trust Fund**



Executive Office for Administration & Finance
COMMONWEALTH OF MASSACHUSETTS
STATE HOUSE • BOSTON, MA 02133
(617) 727-2040

CHARLES D. BAKER
GOVERNOR

KARYN E. POLITO
LIEUTENANT GOVERNOR

MICHAEL J. HEFFERNAN
SECRETARY

February 8, 2021

Dear Asset Management Board Members:

I am writing to express my full support for the redevelopment of the Hurley Building. For years, this site has represented a huge opportunity cost – not just for the Commonwealth and our ability to provide modern, cost-effective, energy-efficient office space for our employees; but for the City of Boston more generally, which has had to deal with this eyesore in the heart of its downtown for far too long.

The proposed project will introduce private uses that will enliven the site, and it will provide office space for state employees at a reduced cost. It will eliminate a \$225,000,000+ capital liability while improving open spaces throughout the site. It will provide financial stability by being organized within the terms of a long-term ground lease.

Although the Administration's goal is for the value of the real estate development on the site to be applied as an offset against our ongoing office occupancy costs, there may nonetheless be cash payments involved in this transaction. I recommend that the State Treasurer establish a trust fund to accept any such payments from the project in accordance with M.G.L. Chapter 7B. The trust fund will be used to finance costs and expenses related to the Hurley-Lindemann Complex, or any other capital project as DCAMM deems necessary. All expenditures from such Trust Fund shall require the specific, prior written authorization of myself or the future Secretary of Administration and Finance.

Thank you for your help in moving this generational opportunity forward.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael J. Heffernan', with a long, sweeping horizontal line extending to the right.

Michael J. Heffernan, Secretary
Executive Office for Administration and Finance

Appendix C: Other Letters of Support



THE COMMONWEALTH OF MASSACHUSETTS
EXECUTIVE OFFICE OF LABOR AND WORKFORCE DEVELOPMENT

CHARLES D. BAKER
GOVERNOR
KARYN E. POLITO
LIEUTENANT GOVERNOR

ROSALIN ACOSTA
SECRETARY

February 4, 2021

Dear Asset Management Board Members:

I am writing in support of the redevelopment of the Charles F. Hurley Building in Downtown Boston, which for 50 years has served as the headquarters for the Department of Unemployment Assistance, MassHire Department of Career Services, and other critical Labor and Workforce agencies.

It has been my pleasure to work with Commissioner Gladstone and her staff over the past year and a half on a plan to relocate our programs into more suitable office space in the short term, and redevelop the Hurley Building site over the long term. We look forward to working out of space that is modern, flexible, adaptable, accessible, well-lit, and with technology-enabled hearing rooms to better accommodate our constituents. Additionally, we look forward to working in a building that is welcoming and accessible versus the difficult to navigate situation people experience today.

I understand that the amount of office space that this project will yield is still to be determined, as is the particular arrangement of private uses that will complement the state office space on the site. Nonetheless, I think the approach that DCAMM is taking of introducing private uses, opening up the site, improving the public realm, and adding new construction will improve the site greatly. Approaching this project as a public-private partnership will conserve state resources at a time of budget constraints and uncertainty.

I thank Commissioner Gladstone and her team for their leadership on this project, and I look forward to a more accommodating space for our workforce and our constituents as well as a better use for the current Hurley site.

Sincerely,

A handwritten signature in blue ink, appearing to read "Rosalin Acosta".

Rosalin Acosta, Secretary

Executive Office of Labor and Workforce Development

ONE ASHBURTON PLACE • SUITE 2112 • BOSTON, MA 02108
TEL: 617-626-7100 • TTY: 617-727-4404 • FAX: 617-727-1090
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The Commonwealth of Massachusetts
Executive Office of Health and Human Services
Department of Mental Health
25 Staniford Street
Boston, Massachusetts 02114-2575

CHARLES D. BAKER
Governor

KARYN E. POLITO
Lieutenant Governor

MARYLOU SUDDERS
Secretary

BROOKE DOYLE
Commissioner

(617) 626-8000
www.mass.gov/dmh

February 1, 2021

Dear Asset Management Board Members:

The Lindemann Mental Health Center provides critical mental health services to patients in Boston, including transitional housing for 80 clients and more clinically intensive residential services for 33 residents who are receiving services through the Department of Mental Health (DMH). In addition, Lindemann hosts several outpatient programs, such as the Freedom Trail Clinic run in conjunction with nearby Massachusetts General Hospital, as well as other vendor-operated psychiatric emergency service, crisis intervention, outreach and support programs. The building also serves as DMH's central administrative office.

My staff and I have been following the proposed redevelopment of the adjacent Charles F. Hurley office building, and I am writing to express my support for that project. We who work in the Lindemann Building well understand the capital needs associated with a building of this era and design. I am especially pleased to see the possible inclusion of an "Open Space Improvement Area" that could bring much-needed upgrades to the public spaces surrounding our building. Some such upgrades may pose operational concerns for our programs and staff; however, we intend to work with DCAMM throughout the design of the redevelopment project to address such concerns if and as they arise.

Sincerely,

A handwritten signature in black ink that reads "Brooke Doyle M.Ed., LMHC".

Brooke Doyle, M.Ed., LMHC
Commissioner



**THE TRIAL COURT OF MASSACHUSETTS
EXECUTIVE OFFICE OF THE TRIAL COURT**

Office of Court Management
Two Center Plaza, Suite 540
Boston, MA 02108

Paula M. Carey
Chief Justice of the Trial Court

John A. Bello
Associate Court Administrator

MEMORANDUM

February 9, 2021

Division of Capital Asset Management & Maintenance
One Ashburton Place, 15th Floor
Boston, Massachusetts 02108

Re: Charles F. Hurley Building

Dear Asset Management Board Members:

The Edward Brooke Courthouse shares a large City block with the Charles F. Hurley Building. It was built in the 1990s, on the site of what had for 20 years been an unpaved parking lot after plans to build a large Government Services Center were left incomplete due to lack of funding. In addition to the Courthouse itself, that construction project added a large green space to the site's interior, and closed off various edges of the Hurley and Lindemann buildings that had been left unfinished in the original construction.

As the occupants of the last major construction project to transform this block, the Executive Office of the Trial Court supports the redevelopment of the Hurley Building. We also support the proposed Open Space Improvement Area on the portion of the block immediately adjacent to the arcade alongside the Brooke Courthouse, and surrounding the Lindemann Building. There are ample opportunities to rethink and improve the surrounding open spaces, and we are glad to see that DCAMM proposes doing so in a way that will not foreclose further changes by the Commonwealth in the future, should our collective needs change.

We look forward to working with DCAMM on the transformation of that block.

Sincerely,

John A. Bello
Associate Court Administrator

Appendix D: Public Comments on Draft Final Project Proposal and Minutes from Public Hearing on Draft Final Project Proposal

Vladeck, Abigail S. (DCP)

From: Vladeck, Abigail S. (DCP)
Sent: Wednesday, December 23, 2020 4:16 PM
To: DCAMM, Hurleyredev (DCP)
Subject: FW: Hurley Redevelopment

ABI VLADECK, AICP

Director of Public/Private Development

PHONE 617-727-4050 x 31517

DIRECT 857-204-1517

CELL 857-343-0083

From: Livingstone, Jay (HOU) <jay.livingstone@mahouse.gov>
Sent: Wednesday, December 23, 2020 4:01 PM
To: Vladeck, Abigail S. (DCP) <Abigail.S.Vladeck@mass.gov>; HurleyReDevdcamm@mass.gov
Cc: Mills, Sarah (HOU) <sarah.mills@mahouse.gov>
Subject: Hurley Redevelopment

Abigail,

I hope you are well. I wanted to write a short comment on the Hurley Proposal. I have been meaning to reach out to speak with you about it. I have been disappointed that there is no reference in the guidelines that there is an expectation from the neighborhood for a publicly available amenity, such as for a senior center or school.

I think the guidelines draw the right balance between preservation and redevelopment. The "super block" on Staniford Street should be broken up. The Public Library at Copley Square, which has a famous design that did not work as well as hope and was adjusted in an award winning way, provides the best model for me for what I hope happens design-wise.

If you have any questions, please let me know.

Best regards,
Jay



KENZIE BOK
BOSTON CITY COUNCILOR - DISTRICT 8

Abi Vladeck, AICP
Director of Public/Private Development
Division of Capital Asset Management and Maintenance (DCAMM)
Commonwealth of Massachusetts
One Ashburton Place, 15th Floor
Boston, MA 02108

December 23, 2020

Dear Director Vladeck,

Thank you for this opportunity to comment on DCAMM's plan to issue an RFP for the redevelopment of the Charles F. Hurley Building. As the Boston City Councilor for District 8, representing the surrounding neighborhoods of the West End and Beacon Hill, I am deeply interested in ensuring that this project enhances the area for all those who live nearby, work at the site, or simply pass through this location at the heart of the city. I appreciate the consultations you have done in advance of publishing your draft Project Proposal and draft Design Guidelines, and I am hopeful for a process that will continue to be highly consultative with our many community stakeholders.

In this letter, I will begin with a constructive suggestion for what I consider to be the critical missing element from the current draft Project Proposal. I will then move through several topics to amplify the important respects in which the draft Project Proposal already speaks to them, and to suggest places where the proposed language could and should be enhanced.

I. A MISSING ELEMENT: NEIGHBORHOOD COMMUNITY USES

No place is without its history, and in the case of the Hurley Building, its clearance in the 1960s entailed the displacement of 440 West End families as part of the Government Center Urban Renewal zone. This history of the removal of affordable housing and a tight-knit tenement community still stings in the West End, which nonetheless has transformed into a strong 'vertical' neighborhood over time. What that neighborhood lacks, however, is community uses: my West End constituents long for collective gathering space, for a school, for facilities for

seniors and pre-k children. And for more affordable housing, to make good the broken promises once offered to the West End diaspora.

The proposed Hurley redevelopment site is sufficiently large to accommodate some such community use, in a way that complements the commercial uses envisioned by DCAMM. These community needs would be in the foreground if this process were to begin with a planning process to rezone the site as a PDA. If the Commonwealth wishes instead to issue an RFP prior to such a city planning process, it would be wise to include such community interests as one of the public benefits to be served by potential proposals. Anyone submitting a proposal for this site deserves to be informed about these West End community interests, and to have the opportunity to address them as part of a holistic development proposal. Conversely, to leave this key dimension out at the RFP stage is to endanger the “permitting feasibility” alluded to in the draft Project Proposal, and to miss an important opportunity to positively address these historical legacies. As a Councilor, I cannot imagine supporting an order of operations that places a DCAMM RFP prior to a city planning process if the RFP excludes this critical dimension.

To address this issue, I recommend the following:

In the “Public Benefit” section of the Project Proposal, add an additional category of public benefit as follows:

Consideration of Neighborhood Interests

The Disposition Site was a dense set of residential streets in the old West End neighborhood, before being cleared and transferred to the Commonwealth as part of Urban Renewal in the 1950s and 1960s. Both the diaspora of people displaced from the West End through that government action, and the many current West End and Beacon Hill residents living nearby, retain a keen interest in the site and its redevelopment as an opportunity to redress this history by hosting community uses such as affordable housing, community gathering space, and/or preschool or public school facilities, to the extent possible and complementary to the Commonwealth’s needs for the site.

As mentioned above, such language would serve to invite thoughtful and creative responses to this community dimension of the site as part of any holistic redevelopment proposal.

II. OTHER TOPICS FOR AMPLIFICATION & ENHANCEMENT

I would like to highlight several categories of major local priority, both to celebrate important language that is included in the Draft Proposal and to suggest further revisions.

a. OPEN SPACE

I hugely appreciate the expansion of the zone of consideration for this Project Proposal to include improvements to public open space throughout Urban Renewal Parcel 1A. In particular, the corner of Staniford and Merrimac that has long been maintained as a parking lot, in defiance of its zoning as open space, is a great source

of frustration to our community. Given that any tower to be developed is likely to encroach on the open space off New Chardon St, it is essential that the successful Proponent have a thorough and robust open space improvement plan.

Addition:

- The Project Proposal should specifically call out the fact that the **setback on Cambridge St** is zoned for open space, both to improve the pedestrian experience and to create a view corridor to Old West Church, and should establish the expectation that it will remain as such in any rezoning.

b. PUBLIC REALM

I am also very grateful to the explicit references in the Project Proposal to breaking up the existing super-block and creating pedestrian pathways through it, especially from Staniford St, where the building currently acts as a wall against the West End. Fixing this issue is essential to making the site more human-scale and better related to its surroundings; it would also reflect the connectivity that was originally trumpeted in the site's urban renewal plan, yet left unfulfilled.

Addition:

- I think the Project Proposal could do more to explicitly **connect the public realm** expectations for the site to the reimagining of this entire area as more pedestrian-friendly and bicycle-friendly. There is active work or planning afoot to make Cambridge St, City Hall Plaza, and streets like Merrimac, Staniford, and nearby Congress St more multimodal and accessible. Proponents should not just expect to do their own 'Complete Streets' proposal in isolation; they should be asked to actively study the surrounding efforts, and knit their proposals into the vision for that overall expectation. I would anticipate this to be a significant dimension of any subsequent BPDA-led planning process for the site.

c. MASSPORT MODEL FOR DIVERSITY & INCLUSION

I am glad to see DCAMM citing Massport's model for how to improve Diversity & Inclusion in response to Commonwealth RFPs; making sure that government funds are used to hire a diverse workforce, both construction and permanent, is key to narrowing the racial wealth gap and income inequality in our city and region.

Additions:

- Although office space is the chief use that DCAMM contemplates for the site, other commercial uses may very likely be proposed. For such commercial uses, I would ask DCAMM to continue to 'meet the moment' by **following the full suite of diversity, inclusion, training, and labor provisions contained in the model Omni Seaport RFP**, in order to ensure a diverse workforce and continuous operation on site.
- Massport's model included a specific weight for Diversity & Inclusion factors, which made it clear that it would result in real points lost or gained. With the

non-points-based approach that DCAMM is employing, it is especially important that the Project Proposal **find further ways to emphasize this as a serious and not merely incidental consideration** in the designation of a project partner.

d. GREEN BUILDING STANDARDS AND CARBON PERFORMANCE

Thank you for the attention in the proposed Design Guidelines and Project Proposal to the need to decrease the building's carbon consumption. We can only make the progress our city requires on this existential issue if every building does its part over the coming decades, especially large campuses such as the Hurley.

Additions:

- I think that some greater reference could be made to the **embodied carbon** dynamics of the site. Even for portions that may be demolished, Proponents should be asked their plans to potentially **recycle that concrete**, especially given the energy costs of reducing it to dust.
- I would also urge DCAMM to further underscore the need for proposals to do **more than the minimum** on the climate front, and to plan for an era in which Net Zero Carbon buildings become the norm and new regulations come into place. For example, I expect the City of Boston to implement Carbon Performance Standards (currently under review) in the near future. This redevelopment should be positioned to aggressively improve its energy consumption metrics over time, not merely to clear whatever bar exists at the snapshot moment of its approval.

e. TRANSPORTATION

I am glad to see the draft Project Proposal reference the utterly transit-oriented nature of the site, and discourage plans that would induce a large amount of traffic through the over-provision of parking. Any use proposed for this site should be based on the presumption that it will be accessed primarily via foot, bike, or transit.

Additions:

- All projects in this vicinity should be expected to construct their public realm improvements in ways that are conducive to the eventual creation of a **Red-Blue Connector** under Cambridge St. Ideally, a project like this would actively facilitate that key transit connection. At a minimum, the Draft Proposal should make reference to that potential extension and encourage positive steps in relation to making it a reality.
- I know that the Commonwealth is requesting that Proponents provide space for 200 cars to come back to the site. Because of the need to minimize car usage at this highly transit-connected site, I would suggest that the Project Proposal might also set a **tight upper limit on the number of parking spaces** to be contemplated here, perhaps no more than the 200 the Commonwealth needs.

f. HISTORIC PRESERVATION

I appreciate the attentiveness with which DCAMM has listened to the preservation community, and the intention expressed in the draft Project Proposal that Proponents look for creative ways to preserve the building in certain respects, even while dealing with deferred maintenance and the Commonwealth's interest in adding capacity to the site. We often lose buildings at their most unloved, before architectural styles become prized for their historic merit, so I think it worthwhile to seek proposals that preserve some of what is original and unique about the Hurley.

Additions:

- The Design Guidelines could make clearer mention of some of the internal historical treasures of the Hurley Building, especially the **murals**.
- So often, historic preservation fails because it is left late in the development process and considered inexpertly. The Project Proposal should make clear that Proponents will be expected not only to propose something with thoughtful historical preservation in mind, but **to consult iteratively with the preservationist community** throughout the process, in advance of Massachusetts Historical Commission consideration.

This has been a lengthy list, but the Hurley Building redevelopment is a potentially transformative project with huge implications for the communities I represent, so I am grateful for your patience. As I draw to a close, I just wish to emphasize again my first point about needing a place in this RFP that acknowledges the fundamental community interests in the site. I regard this component as essential to moving forward in a way that successfully anticipates the issues that are certain to arise in any community planning and rezoning process here.

If the RFP is issued prior to any rezoning, I also hope that the project team will find ways to share finalist proposals and consult the community about concepts and tradeoffs before any tentative designation is made, in order to secure the best prospects of permitting feasibility. I certainly stand ready to assist in such community consultation however I can.

Many thanks for your attention, for your and your team's extensive efforts on this project to date, and for your daily work on behalf of our Commonwealth.

Sincerely,



Kenzie Bok
Boston City Councilor
District 8

CC: Brian Golden, Director, Boston Planning & Development Agency (BPDA)



West End Civic Association

Committed to protect and enhance the quality of life in the West End

2020

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22 December 2020

Abigail Vladeck
DCAMM Project Manager
One Ashburton Place, 15th Floor
Boston, MA 02108

Re: Charles F. Hurley Building Redevelopment

Dear Ms. Vladeck:

The West End Civic Association (**WECA**) appreciates the opportunity to comment on the design guidelines and the Project Proposal for the Charles F. Hurley Building Redevelopment Project. **WECA** represents the West End of Boston, one of the first Boston neighborhoods to experience the failed promises of urban renewal. For the West End, neighboring communities, and the Commonwealth, we are most interested to see the potential of this large and significant project realized.

Preservation: We support the guidance to creatively adapt and reuse as much of the existing building as possible while radically reimagining the space into a form that preserves the architectural significance of the whole structure. At the same time, we urge consideration of the relationship of the reimagined and new buildings to their surrounding neighborhoods – West End, Beacon Hill, and Government Center.

Design: We support the creation of a more friendly mixed-use site, combining an improved street-level experience, easier pedestrian access into, through and around the site, and improved and accessible open space. In addition, it is important that the design respect the neighboring historic structures, the Otis House, and the Old West Church. It should also preserve the view of Old West Church currently enabled by the angled setback of the Cambridge Street edge. A similar view of Old North Church was sadly lost in the design and construction of the new Government Center MBTA station. That mistake should not be repeated in this project.

Mixed Use: This project offers the opportunity to include community-oriented uses – affordable housing, a community center, a public school. During urban renewal, the West End lost several public schools. None were replaced. This site could be a great opportunity to provide the first new school for the neighborhood.

Flexible Use: The proposal should reevaluate long-term office space needs considering lessons learned and the work-from-home experience created by the 2020 pandemic. The new spaces created should be adaptable to other uses as future needs evolve.



West End Civic Association

Committed to protect and enhance the quality of life in the West End

Traffic: We strongly emphasize the need to closely coordinate the project timeline with that of the several other projects planned for Cambridge Street, including general street redesign, the MGH Cambridge Street Project, the Red/Blue Line connector and the planned redevelopment of the West End Library. The Hurley project, along with these others, will result in short and long-term disruption and safety issues for vehicles, pedestrians, and cyclists. Also, since this project is in an area with access to multiple public transportation modes, there should be no increase in the number of parking spaces from what currently exists at the site.

Energy Use and Climate Impact: The process should include an evaluation of energy use and sustainability and commit to alternative approaches. How might the project meet the goal of carbon neutrality and the use of carbon-free electricity for energy for the Project?

Sincerely,

Jane Breschard Wilson
President
West End Civic Association

cc: Senator Sal DiDomenico
Senator Joseph Boncore
Representative Aaron Michlewitz
Representative Jay Livingstone
Councilor Edward Flynn
Councilor Kenzie Bok
Jonathan Greeley, Boston Planning and Development Agency



*Neighbors
Helping
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December 23, 2020

Abigail Vladeck
Senior Project Manager
Division of Capital Asset Management & Maintenance
Office of Real Estate
One Ashburton Place, 15th Floor
Boston, MA 02108

Re: Charles F. Hurley Building Redevelopment

Dear Ms. Vladeck:

Since 1922, the Beacon Hill Civic Association (“BHCA”) has strived to preserve and enhance the quality of residential life on Beacon Hill and the downtown neighborhoods. In this regard, we very much appreciate the opportunity to provide additional comments to the Division of Capital Asset Management & Maintenance on the Commonwealth’s proposal to ground lease the site of the Charles F. Hurley Building on Cambridge Street in Boston, to a redevelopment partner, who is expected to construct one or more large buildings along Cambridge Street, Staniford Street and New Chardon Street in the West End, immediately across Cambridge Street from Beacon Hill (the “Project”), as you prepare to issue a solicitation for proposals for the Project from a redevelopment partner (the “Solicitation”).

The Hurley Building is an imposing concrete structure near Government Center that housed a number of government agencies. Designed by the influential modernist architect Paul Rudolph, the Hurley Building, according to WBUR, is an exemplar of the architectural movement known as “brutalism, at once stark and monumental, with massive concrete pillars and a looming brow.” The Hurley Building is part of the Government Service Center complex, which was designed by Rudolph and completed in 1971. The original plan called for three buildings surrounding a plaza, but in the end only two buildings — the Hurley and the Erich Lindemann Mental Health Center — were completed, along with a portion of the plaza, while plans for a high-rise tower were scrapped.

BHCA, our neighbors, and our elected officials all share a vision for this important site. The redevelopment of the Hurley Building is an opportunity to not only meet the state’s requirements, but also to reflect the needs of surrounding residents. Some of the uses on the site should be community-oriented.

Board of Directors 2020-2021

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Commercial uses should include those that serve nearby neighborhoods. Complete streetscapes along the site should meet the needs of pedestrians and cyclists. The redevelopment of the Hurley presents the extraordinary possibility of dramatically improving the urban design and public realm of this area, and taking steps toward recreating a vibrant urban area like that which once occupied this site.

We very much appreciate DCAMM's substantial efforts to engage the community with your virtual public meetings on the draft Design Guidelines and the draft Project Proposal for the Project. The Design Guidelines are promising, in that they encourage redevelopment proposals to consider a wide range of issues presented by the Hurley site and its urban context. However, many of the issues most important to nearby residents were not addressed with specificity, or were not on the agenda for discussion in these meetings. A number of those issues are raised below.

In addition, the Design Guidelines are somewhat general and may suggest that they are aspirational. Proposals should be evaluated and selected in significant part on how well they meet the Design Guidelines, as well as on how they address the needs and concerns of nearby residents. We are apprehensive that, unless the full range of issues is used to evaluate proposals, this process will strongly tend toward creating the largest possible office building on the site. That is very much the wrong outcome for this site.

Traffic: Residents have acute concerns about vehicular traffic, as well as pedestrian and cyclist safety, along Cambridge Street and the connecting streets. There is every reason to expect these issues will return once the current crisis eases. The Solicitation should state that there should be no increase in the size of the Project's parking garage, as additional parking only serves as a magnet to further draw vehicles to Beacon Hill, the West End, and nearby areas. Planning for the project should include greater reliance on public transportation or other alternative options to avoid exacerbating an already overloaded traffic system in this area.

Traffic congestion along Cambridge Street has also been a substantial factor in diverting truck and automobile traffic, including numerous rideshares, through the narrow streets of Beacon Hill, which cannot safely accommodate such traffic. The Project must take into consideration a neighborhood plan to lessen the impact of increased traffic.

One of the primary goals of the redevelopment, as we understand it, is to allow the Commonwealth to consolidate existing leases for office space in the downtown area into the Project. However, as discussed above, any expansion of office space must avoid increasing vehicle traffic in the area.

Mixed Uses: The Solicitation should consider the role that other uses of the site, such as residential, might play in allowing a successful redevelopment of the site and an improved public realm, while reducing the traffic and other adverse impacts of the Project.

Tenancing ground floor areas of the Project with restaurants, retail and other uses that will generate activity into the evening hours would enhance the neighborhood. The additional evening activity would also improve the safety of the area for residents and visitors.

The solicitation process should seek to include a public school in the Project. As has been widely reported, the City of Boston and in particular the downtown neighborhoods present a number of challenges for families seeking to remain in the city. The lack of public schools has forced many families to move out of the city. This creates essential issues for the health of our neighborhoods, as families are a

critical element in the success of any neighborhood. It has proved extremely difficult to find suitable sites for public schools in Boston's downtown neighborhoods. The Hurley site presents a rare opportunity to address a critical need.

Project Design and Public Realm: The Project massing, design and streetscape along Cambridge and Staniford Streets will affect visitors and residents for decades to come, as the existing building has since its construction. The Project presents an opportunity to substantially improve the quality of the public realm in this area.

We advocate for upper story setbacks on all sides of the Project to avoid urban canyons and the loss of light and increased wind disturbance that accompany such designs. The Project should avoid using the all-too-common superblock design, as it is inconsistent with the character of the area. The use of multiple buildings, with smaller and larger buildings, would fit better within the existing streetscape.

In addition, the design of the Project should respect its unique context, adjacent to the historic Old West Church and the Otis House buildings. These exceptional buildings are among the last vestiges of the early development and life in this area of Boston.

The height and massing of the buildings should recognize that this site is adjacent to residential areas, specifically including the Beacon Hill National Landmark District. The height of office buildings in Boston's central business district is not an appropriate point of reference for this site, instead, the site should take into account the smaller scale of nearby residential buildings and homes.

Preservation and Reuse of the Existing Building: From BHCA's founding in 1922, a core part of our mission has been to preserve the history of the neighborhood and surrounding areas. The BHCA was instrumental in the creation of the Beacon Hill National Historic District and the BHCA has worked tirelessly towards the preservation of historic buildings within and without the district. The Hurley Building is a meaningful part of that history, and as Boston Preservation Alliance executive director Greg Galer noted in an interview with WBUR, there has been increasing public interest and concern about the potential loss of the Hurley Building "that's really of a style that has been underappreciated." We are encouraged that DCAMM believes there are feasible solutions for the redevelopment of this property that would preserve and reuse the existing Hurley Building.

Mitigation of Light and Noise: The Solicitation should require that the Project minimize the post-construction effects of the Project's lighting and mechanical systems for nearby residents. Residents of the North Slope of Beacon Hill have reported issues with both in recent years, from nearby institutional and commercial buildings. In particular, it is important to visually screen and to minimize the noise from HVAC equipment. Residents currently find that when wind conditions carry the noise toward their homes, there is significant loss of quality of life in outdoor spaces and residences. Without careful planning and mitigation for the Project, it seems likely residents near Cambridge Street and Staniford Street will see these conditions worsen.

Construction Impact: With a large project and a multi-year construction period, management of the construction impacts of the Project (such as noise, traffic disruption, pollution, access to local businesses and shopping, and so on) will also be crucial to residents' quality of life. Taken in conjunction with several additional proposed projects, including the nearby MGH Clinical Building and redevelopment of the West End Library, as well as others involving Massachusetts Eye and Ear and Storrow Drive tunnel construction, the Project's construction will place a burden on surrounding neighborhoods.

Abigail Vladeck
December 23, 2020
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Cambridge Street Redesign: The City of Boston's efforts to redesign Cambridge Street are underway. Given that the Project's construction will extend through 2025, it seems imperative to coordinate planning for the Project with planning for Cambridge Street, including installation of bike lanes and planning for a Red/Blue connector of the MBTA subway lines, to ensure better traffic flow and a high quality pedestrian and cyclist streetscape.

Energy Use and Climate Impact: The Solicitation process should include an evaluation of sustainability and energy use, and commit to alternative approaches, such as how the Project might meet the goal of carbon neutrality and the use of carbon-free electricity for energy for the Project.

Federal Site Restrictions: It has been half a century since this site was last redeveloped, in connection with urban renewal. The federal restrictions that were placed on the use of the site at that time have fully served their purpose. Should those restrictions conflict with the development of an appropriate Project, the Commonwealth should seek to have those restrictions modified, waived or removed.

We look forward to further constructive discussions regarding the Project.

Very truly yours,



Robert A. Whitney
Chair

cc: Senator Sal DiDomenico
Senator Joseph Boncore
Representative Aaron Michlewitz
Representative Jay Livingstone
Councilor Edward Flynn
Councilor Kenzie Bok
Jonathan Greeley, Boston Planning and Development Agency
Jane Wilson, West End Civic Association
Montez Haywood, West End Civic Association

The West End Museum

December 23, 2020

Ms. Abigail Vladeck,

RE: The Proposed Hurley Building Redevelopment

The West End Museum, Inc. is a neighborhood museum located at 150 Staniford Street, Suite 7 in Boston, Massachusetts in a 4000 square foot space on the ground floor of West End Place.

The primary purpose of the West End Museum is to operate and maintain a neighborhood museum dedicated to the collection, preservation and interpretation of the history and culture of the West End of Boston. The Museum acknowledges its role as an educational institution and a trustee of significant material culture.

The West End Museum fulfills its mission by providing exhibits to the public on a regular basis, by providing access to its collections for research, by providing a resource to the West End Neighborhood for historical and cultural interests. It involves the public in its mission through outreach programming, neighborhood events, and educational programming in the school systems, thereby increasing and sustaining the public's appreciation of an important American urban neighborhood from the seventeenth century to the present time.

Given the timing of the recent two DCAMM public meetings, the West End Museum Board of Directors does not feel that there has been sufficient time to convene as a Board to review and discuss the public comments of these zoom meetings. The President of the West End Museum requested last year to be involved in a community review group leading up to these public meetings which convened over the summer; we were not. That being said, we cannot support any redevelopment of the Hurley-Lindemann complex that does not include former West End residents, or their representatives.

Moving forward, we suggest that a member of the West End Museum Board, or the Old West End Housing Corporation (OWEHC) be appointed to the Impact Advisory Group (IAG) for the redevelopment of the Hurley Building.

Respectfully,



Duane Lucia
President
West End Museum

Cc:

Jim Campano – President, OWEHC and Publisher, West Ender Newspaper

Carol Gladstone – DCAMM Commissioner

Jane Breschard Wilson – President, West End Civic Association

Rob Whitney – Beacon Hill Civic Association

Brian Golden, Director, Boston Planning and Development Agency (BPDA)

John Romano – Mayor Walsh’s office

Kenzie Bok – Boston City Council

Ed Flynn – Boston City Council

Michelle Wu – Boston City Council

Jay Livingstone – Massachusetts House of Representatives, 8th Suffolk District

Greg Galer - Boston Preservation Alliance

Jay Walsh – Downtown North Association

Emily Brown

Montez Hayward



HISTORIC NEW ENGLAND

Defining the past. Shaping the future.

141 Cambridge Street
Boston, MA 02114
(617) 227-3956

www.HistoricNewEngland.org

December 22, 2020

Abi Vladeck
DCAMM
1 Ashburton Place, 15th Floor
Boston, MA 02108

RE: Hurley Redevelopment Project

Ms. Vladeck:

I write on behalf of Historic New England, the oldest and largest regional preservation organization in the country and owner of the National Historic Landmark Otis House at 141 Cambridge Street, regarding the draft design guidelines and project proposal for the Hurley Building Redevelopment Project. Thank you for the efforts you and the project team have made to solicit public comment and your consideration of community perspectives regarding this substantial project.

The desire to enliven the site and provide greater linkages between the buildings and surrounding areas is welcome and the need for increased office space and programmatic shifts within the Hurley building are understandable. As we noted in the public hearing last week, one of the primary aims of the Hurley Building Redevelopment Project must be to tie together the West End, Beacon Hill, and Government Center neighborhoods. By embracing and uplifting the complex, multifaceted community of which it is apart, the redeveloped Hurley Building can begin to heal the wounds of Urban Renewal, infuse vitality into the neighborhoods, and become so much more than a procedural effort to find solutions to public problems through a private developer. We are encouraged to see the historic significance of the Lindeman and Hurley campus highlighted in the draft design guidelines, and the requirement to preserve at least some of the Hurley Building as an important component of this layered and complex neighborhood.

To that point, the original design of the Hurley Building was coordinated with the entire Government Center Master Plan by I.M. Pei, not just the Rudolph-led state services complex. In order to maintain this historic context and the relative successes of the original Urban Renewal scheme, the current redevelopment should retain the pedestrian mall from City Hall to Old West Church as well as the angled setback along Cambridge Street to preserve a view from City Hall Plaza to the Old West Church. This is not indicated in the current project site diagrams or in the design guidelines.

Concentrating all buildable area toward Cambridge Street instead maximizes impacts to the residential and historic abutting neighborhoods, particularly given the high-rise density planned for the site. In recent years, Boston has experienced a significant number of towering construction projects, few of which have had any positive impact on the affordable housing and sustainability issues facing the City. We have concerns about the potential scale of the new tower being solicited on its residential neighbors; the illustration on p13 of the guidelines obscures the significantly lower residential scale of Beacon Hill and commercial height limits along the north side of Cambridge Street in the West End, effectively disregarding the adjacent neighborhoods in favor of taller buildings predominantly located in the Financial District. The objective to increase the capacity of the site must be balanced with preservation of the surrounding community character.

Considering the long-term viability of this redevelopment, the sustainable design principles in the guidelines solicit a project that will meet existing requirements established for new construction that may be challenging to apply effectively to the existing Hurley Building. This may tilt the scale toward a redevelopment strategy that demolishes more of the Hurley building than is necessary or advantageous. We seriously question how environmentally sensitive any new building can be at this site if substantial portions of the existing Hurley building are demolished and replaced with yet more new construction materials. In addition, we strongly encourage evaluation of the sustainability of any proposed redevelopment over the full length of the ground lease.

Looking broadly at this project's potential impacts on the sustainability of the community, Historic New England generally supports the urban design and building design principals outlined in the guidelines, but urges a more thoughtful consideration of the building design examples provided for reference. Several of the examples in the draft were very poorly received by their local communities. We also appreciate the consideration given to the open space of the site and are concerned that if the open space lease can be terminated at any time, it may reduce the likelihood of high-quality, long-term investment in this most-public area of the project.

We welcome the consideration of transit implications of this project, recognizing that the MBTA is beleaguered by funding challenges and, the pandemic notwithstanding, the West End portion of Cambridge Street is often crowded to a dysfunctional standstill most days. In the near term, it is imperative that there be coordination among the three major development projects being planned along Cambridge Street in the next few years – the expansion of the MGH campus, the addition of affordable housing to the West End Branch Library, and this project. All will have substantial immediate impacts on the surrounding community in terms of construction traffic, noise, and vibration.

When the Hurley Building was conceived by the BRA in the mid-20th century, along with the rest of Government Center it was envisioned to bring new investment, amenities, and efficiency to the area. We recognize now that, although a great deal of planning and design effort guided the Urban Renewal program in Boston, it had extraordinarily damaging consequences for the communities immediately impacted by it, especially the West End neighborhood. Improving the relationship of the Hurley Building and Government Center to the surrounding West End should be a priority and we appreciate the state's effort to engage the community about this project. We look forward to continued opportunities to provide input throughout the planning and design process, thereby creating a project that will avoid repeating the issues of past initiatives and will instead prioritize and support the local community over the next fifty or more years.

Warm Regards,

/s/Carissa Demore

Carissa Demore
Team Leader for Preservation Services

23 December 2020

The Asset Management Board
c/o Abigail Vladeck, DCAMM Project Manager
One Ashburton Place, 15th Floor
Boston, MA 02108

Comment on Draft Project Proposal for Hurley Building Redevelopment

I am a Professor of Art and Architectural History at Boston University. I spent several recent years researching the Hurley Building's history along with the rest of the Government Service Center complex. Earlier this year, the results were published in the leading scholarly journal, *Grey Room*. I would like to make the following comments on the draft project proposal for the Hurley Building's Redevelopment, based both on my research and personal opinion.

First, as a professional architectural historian, I want to correct the misconception that the Hurley Building's architecture was authored by Paul Rudolph. As the historical record is clear, Jean-Paul Carlhian of Shepley Bulfinch Richardson and Abbott should be credited as the lead designer for the building, having agreed to and refined suggestions about materials and massing made by Rudolph. Or, as Carlhian's partner, Joseph P. Richardson, wrote in a 1970 letter, now at the MIT Archives, "We did design the [Hurley] building and not Rudolph." Miscrediting the Hurley Building to Rudolph not only does a disservice to Carlhian, it also diminishes Rudolph's own accomplishments at the neighboring Lindemann Center – a building which should be studiously preserved as one of Rudolph's great works.

Second, I want to emphasize the importance of preserving the Hurley Building's lobby murals by Costantino Nivola. These large-scale art works are by one of our country's leading mid-twentieth-artists. They are also nearly unique in the history of world art for representing the functions of a modern social service system, depicting in monumental imagery the benefits of welfare assistance and employment training. The destruction of the Hurley Building murals would be an incalculable loss to Massachusetts' cultural and political patrimony and the history of art. Indeed, they are arguably as significant as the famous Boston Public Library murals by John Singer Sargent. There are many aspects of the Hurley Building that might be changed – for example, making an entrance from Cambridge Street, which was actually proposed in 1962. But what should remain intact are the Hurley Building murals.

Lastly, as a Massachusetts resident, I believe strongly that the site and the building belong to and represent all the state's citizens. While I understand the special interests of nearby neighbors, the Hurley Building belongs to them no more than the Massachusetts State House belongs to the Beacon Hill community. Also, I believe it to be extremely important that in its redevelopment the Hurley Building remain visibly a monumental, public, government building – as it now is in

its modern architectural language. The citizens of Massachusetts have a right both to the services delivered through the Hurley Building's agencies, and to the expectation that their government's important structures, like the Hurley Building, represent proudly government's public functions and meanings. Whatever changes might be made, the Hurley Building, I believe, should remain in function and architectural appearance primarily a government building for all the citizenry, and not be overly privatized in use and expression.

Thank you for your time and consideration of these comments.

Sincerely,

A handwritten signature in black ink, appearing to read 'Daniel Abramson', followed by a long horizontal line.

Daniel Abramson

Professor, Architectural History & Director, Architectural Studies

dabr@bu.edu • 617-353-1441

Vladeck, Abigail S. (DCP)

From: james campano <j.campano@att.net>
Sent: Wednesday, December 23, 2020 2:12 PM
To: DCAMM, Hurleyredev (DCP)
Subject: Fw: Hurley Redevelopment

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----- Forwarded Message -----

From: james campano <j.campano@att.net>
To: abigail.s.vladek@state.ma.us <abigail.s.vladek@state.ma.us>
Sent: Wednesday, December 23, 2020, 02:07:03 PM EST
Subject: Hurley Redevelopment

Hi Abigail, It's Jim Campano of the Old West End Housing Corp. (OWEHC). I think a member of OWEHC should be named to the AIG. OWEHC has been involved on the West End for the last 25 years. We are participating partners in West End PI. and we hold the deed to the property that houses The West End Museum. We have always had representation on eminent domain land in the West End.---Jim Campano

From: [Elaine Cronin](#)
To: [DCAMM, Hurleyredev \(DCP\)](#)
Subject: Recommendations
Date: Saturday, December 19, 2020 4:20:35 PM

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Thank you for including our neighborhood in your project to make the Hurley Building truly a place that serves the community and the state!

Of course, it goes without saying that the building needs to accommodate the staff of the State Employment Center, currently housed there.

If it can be within the realm of possibility, The West End needs an elementary school that would serve The West End, Beacon Hill and The North End.

These same neighborhoods need affordable housing for the people within these communities.

Lastly, the green spaces are essential more now than ever. There are ways to enrich these spaces with native flowers and trees that would attract birds and insects, especially those that contribute to a clean and healthy environment. The Audubon Society, I am certain, could guide this project.

Lastly, please think green when you are considering electricity and power...solar panels on the roof, for example. City Hall and The State could contribute innovative designs. There is a woman who is contributing to Michelle Wu's campaign for mayor. She has an insight and plans that is so remarkable and thoughtful...I would be delighted to connect you with her.

Once again, infinite gratitude for taking on this huge project that I know will be a lasting and consistent healthy spotlight for our wonderful and vibrant home/neighborhood.

Elaine Cronin

--

Vladeck, Abigail S. (DCP)

From: Jane Forrestall <jmforrestall@gmail.com>
Sent: Wednesday, December 23, 2020 12:33 PM
To: DCAMM, Hurleyredev (DCP)
Subject: Hurley Building Draft Design Guidelines Input

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

I am writing as a neighbor of the Hurley Building and a resident of West End Place at 150 Staniford Street regarding design guidelines for the Hurley Building RFP. I have served on the Impact Advisory Groups and Institutional Master Plan Task Forces for most of the development in the West End for the past 20 years including MGH and all of the new buildings within the Bulfinch Triangle. As a resident of WEP for 22 years I have watched the deterioration of the Hurley Building (and Lindemann Center) over the years. It has been poorly maintained by the State and is now in desperate need of rehabilitation at a great cost to the taxpayers of MA.

Many of my neighbors in the West End, and I, would like to see the Hurley building replaced by a structure that is more fitting to the environment around it, namely the historic residential area of Beacon Hill and the West End. Since we have been told that the building likely not be demolished due to its historic standing, it seems that we will need to settle for a significant upgrade.

The facade of the building needs to be more inviting to the public on all sides. The cement wall along New Chardon Street, the hidden access and blank windows along Staniford Street, and the stark plaza on Cambridge Street send a message that people need to "stay away". Until I became a member of the task force for the project, I never knew that there was an historic mural in the Staniford Street lobby. I also had no idea that there was a passage between the Hurley and Lindemann buildings from Staniford Street to the "courtyard" leading to in the middle of the complex and on to New Chardon Street. I realize that 50 years ago, architecture of this sort was to show power and strength of the government, but it is no longer viewed by many as being friendly or attractive.

When sending this project out for bid to prospective developers, I feel that a few things need to be included:

- There needs to be a distinct and inviting division between the Lindemann Center and the Hurley Building
- The facade of the building needs to be open and inviting with public space at all street levels (Staniford, Sudbury, and Cambridge Streets) and there needs to be distinct way-finding signs
- If housing is to be included, it needs to be affordable and available to the low and middle income population - just as the original residents of the West End were
- Developers of recent properties in the area have found that many residents do not have vehicles since this area is within a short walk to six rail lines (Red Line, Blue Line, Orange Line, Green Line, Commuter Rail, and Amtrak), plus numerous bus lines. Because of this, a 200-car parking garage should not be necessary for state workers or residents - if housing is included.
- A tower was originally planned for the site but was never built. If a tower proposal is to be brought back to the site, it should be limited in height as the rest of Cambridge Street is limited on the West End side of the street.
- Developers need to keep in mind that while this project is under way, there will also be other major projects being done in the area - Mass General Hospital and the West End Library so they need to be mindful of traffic and pedestrian safety.

- I would like to see prospective developers include the possibility of demolishing parts of the building while keeping the most important historical aspects, i.e., the lobby mural. These aspects could be included in an innovative redevelopment of the property.

I'm happy to see that the "Merrimac Plaza" is being included as a part of the possible redevelopment. That area in front of the Lindemann Center is designated as open space on City of Boston maps yet it has become a fenced parking lot with exclusive use to state employees. This area needs to be upgraded and returned to public use with protection to both the population of the Lindemann and to the public. Hopefully, in time, the Lindemann will also be upgraded.

Sincerely,

Jane Forrestall
West End Place
150 Staniford Street, #900
Boston, MA 02114

From: [Holly Laurent](#)
To: [DCAMM, Hurleyredev \(DCP\)](#)
Cc: Kenzie.Bok@boston.gov
Subject: Comments on the Proposal for the Hurley Building
Date: Friday, December 18, 2020 5:59:30 PM

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Thank you for the excellent presentation yesterday regarding the RFP for the Hurley Building. I also heard one earlier this year. It seems based on your comments last night as well as a recent article in the Globe that preservation of the building in some manner (presumably the facade and/or outdoor space) has become a higher priority in your RFP since the earlier presentation. If so, I am very glad to hear it. It is an important brutalist structure, and were it not for its present state of disrepair, would be really lovely. I even think those who are not fans of the building would feel differently if it were well maintained. It is an important role of the government to support the retention of architecturally important work and value that as much as usage considerations.

I also noted that you referenced multiple comments about incorporating improvement of the outdoor space, including outdoor space that is part of the footprint of the Lindemann center. I support these comments as well. Anything that you could do to improve the plaza space and the space along Merrimack Street (which I believe you referred to as the Merrimack Street apron) would be fantastic. I am sure this will also only enhance the value of the space being developed as part of the Hurley Building project.

As for uses, I personally don't think there is a need for a school. I live on Beacon Hill and raised my children in the city. They went to Boston public schools. There are very good options that really are not that far away, including Chinatown, the North End, and Charlestown. I support other comments advocating to include affordable housing if housing is part of the project and to have some type of community center.

Thanks again.

Holly Laurent
78 Pinckney Street
Boston, MA 02114

Vladeck, Abigail S. (DCP)

From: Larry Lebowitz <llebowitz@lhlcap.com>
Sent: Friday, December 18, 2020 4:22 PM
To: DCAMM, Hurleyredev (DCP)
Subject: Comments on Hurley Building Redevelopment

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

I am a resident of Beacon Hill. I walk by the Hurley Building and the Lindemann Building at least once/week. I have participated in both Hurley meetings. The second was much better than the first because you did a much better job of communicating constraints at the start. You should continue to do this at each meeting because anyone new to the process will not know what is and isn't part of the program.

I am a huge fan of modern architecture. I am also a big fan of Paul Rudolph's work. The Yale Arts Complex is beautiful and the Bass Residence is extraordinary. Rudolph was a visionary and there are many examples of his work that are worthy of preservation and redevelopment.

Unfortunately, every architect has a bad day and the day Rudolph designed the Lindemann building was one of his worst days. It is a hideous piece of architecture, totally unsuited for its site and context. The fact that it has been so poorly maintained for so many years makes it even worse. It has no redeeming value from a design standpoint and needs to be demolished as soon as practicable.

Meanwhile, the Hurley Building, done as a companion to the Lindemann Building by second-rate imitators, is even worse. It is a hulking concrete wall, entirely out of place on its site. The sooner it can be fully demolished the better. I'm sorry that Mass Historic seems to think it should be preserved but they are clearly misguided and need to be re-educated. Please attempt to do so.

An "adaptive reuse" of the Hurley building is the worst of both worlds. It will produce a dog's breakfast of a building, a hideous farrago that will satisfy no one and will leave the site mis-developed, mis-utilized, and mis-conceived from the start.

Please, please please, tear down both the Hurley Building and the Lindemann Building and start from a blank sheet of paper.

I understand that the Lindemann Building has constraints because of its programming, but it makes no sense to redevelop only the Hurley Building (in whatever form the redevelopment eventually takes) while leaving the Lindemann Building unchanged. Including the Lindemann outdoor space as part of the Hurley project helps a little, but nowhere near enough. Please take the initiative to build new space that can relocate the Lindemann programming – whether local or not – and redevelop both buildings, in full, from the start, using a wrecking ball as the primary tool.

Laurence Lebowitz
32 Derne Street, #5A
Boston, MA 02114
llebowitz@lhlcap.com
214-770-6124

December 23, 2020

Ms. Abigail Vladeck,

RE: Hurley Redevelopment

As we consider the redevelopment of the Hurley Building, we are faced with the challenging task of avoiding to negatively impact the West End and Beacon Hill Neighborhoods, especially the culture of Cambridge Street...

We must acknowledge:

- the systemic failure of the 'super-block'
- the unfulfilled function of the public pedestrian through ways and use of public space within the Hurley-Lindemann Complex
- the continued neglect by DCAMM to maintain and carry out the intention of the architect's original design
- the limits of brutalist architecture as a cold reminder of abusive Urban Renewal in the West End
- that many West End residents were removed by eminent domain in the Government Center chapter of Urban Renewal in order to construct such behemoths
- the overlooked failure of Urban Renewal; 'c-architecture'

The super-block upon which the Hurley-Lindemann Complex sits was once comprised of six streets; home to many West End families, businesses, the Washington School along with its playground. All serviced a vibrant community; residents could pass through this section on foot, by bicycle, or by car. The streets were alive and had evolved over time. That all changed in the 1950s, following the passage of the Housing Act of 1949, and the subsequent planning of West End Urban Renewal; this area became slated for slum clearance as part of the Government Center project in the 1960s. The neighborhood was demolished and erected in place of these thoroughways and highly functioning streets was the unfinished Hurley-Lindemann Complex, and later the Brooke Courthouse. This 'street hierarchy' encouraged automobile dependency and forced traffic on to fewer continuous streets, which impacts Cambridge, Staniford and the surrounding streets today.

In theory, the Hurley-Lindemann Complex was supposed to be a vibrant design which encouraged public gathering in open spaces and throughways; footpaths which would facilitate pedestrian flow. While this has somewhat been realized with the construction of and activity around the Brooke Courthouse, the Hurley-Lindemann Buildings have failed to provide any throughways. Additionally, the lack of oversight and security around the Complex, has caused the open space to become dangerous for local residents, especially after work hours.

DCAMM, the overseer of the buildings, has neglected to maintain the Complex, which has contributed to its dysfunction. The poor maintenance over the years has caused the stairways and cement walkways to deteriorate and become impassable. This has necessitated limiting access to much of the complexes intended uses. Furthermore, DCAMM has allowed illicit parking areas in violation of the Clean Air Act of 1977 and the Boston Parking Freeze by surpassing the allotted number of parking spaces on site. An illicit parking lot was set up on the corner of Staniford and Merrimac Streets in the late 1990s where cars were allowed to informally park on area that was intended for community open space by the original designer Paul Rudolph. In the early 2000s a fence was erected and a permanent parking lot was created against continued community opposition. In addition, cars were allowed to be parked on sidewalks surrounding the building.

The brutalist design of the building is a harsh reminder of the social injustice of the West End Urban Renewal. The cement is abrasive and has no inviting qualities to encourage public use. The only green space is the oval in the courtyard between the Complex and the Brooke Courthouse. There is some greenery on the upper level, but it is neglected much like the entire Complex, often with trash strewn about. There is also no street activity built into the design of this building, especially on Staniford Street where there is an abrasive 75-foot wall and overhang which looms over pedestrians; no stores to invite passersby, or the community, to interact with the buildings. This dysfunctional Complex displaced happy West End residents who considered their neighborhood a healthy village.

Any project which is proposed here 'must' default back to the original 200 parking space limit; no more additional parking. There should be a huge 'functioning public space' component as was intended. If housing is to be built, it should have a large affordable component, especially family housing; preference should be given to former West End residents displaced by Urban Renewal. There should be a restoring of some streets, and definitely pedestrian and cycling throughways. Ground floors should have businesses which serve the local community; not more bars that serve TD Garden

visitors. DCAMM must insure sustainability of the Complex in all of the above and overcome its past failures.

Regarding DCAMM's request for office space: Consideration must also be given to remote working; if government can function during a pandemic remotely, maybe the State MA needs to reconsider the amount of office space needed.

Above all the culture of Cambridge Street must be maintained for the quality of life for Beacon Hill and West End residents, much has been outlined above, and much will come out of public comment process. It would be shortsighted to turn this Complex over to a developer and make the same mistakes which came out of the shortsightedness of Urban Renewal. And to those urban planners and architects working on this project; think holistically and read Jane Jacobs one more time...

Respectfully,



Duane Lucia
40-year resident
West End and Beacon Hill

Cc:

Jim Campano – President, OWEHC and Publisher, West Ender Newspaper

Carol Gladstone – DCAMM Commissioner

Jane Breschard Wilson – President, West End Civic Association

Rob Whitney – Beacon Hill Civic Association

Brian Golden, Director, Boston Planning and Development Agency (BPDA)

John Romano – Mayor Walsh's office

Kenzie Bok – Boston City Council

Ed Flynn – Boston City Council

Michelle Wu – Boston City Council

Jay Livingstone – Massachusetts House of Representatives, 8th Suffolk District

Greg Galer - Boston Preservation Alliance

Jay Walsh – Downtown North Association

Emily Brown

Montez Hayward

Martha J. McNamara
56 Pinckney Street
Boston, MA 02114

23 December 2020

Abigail Vladeck, DCAMM Project Manager
One Ashburton Place, 15th Floor
Boston, MA 02108
Via email: hurleyredev.dcammm@mass.gov

RE: Charles F. Hurley Building Redevelopment

Dear Ms. Vladeck:

I write to comment on the Charles F. Hurley Building Redevelopment Draft Project Proposal. I am an architectural historian with a special expertise in the buildings and landscapes of New England. I am Director of the New England Arts and Architecture Program and Co-Director of the Architecture Program at Wellesley College. I currently serve as Chair of the Board of Directors for Revolutionary Spaces, Inc., stewards of Boston's Old State House and Old South Meeting House. I have served on the Beacon Hill Architectural Commission, as well as on the boards of the Society of Architectural Historians and the Vernacular Architecture Forum. Most important, I am a 34-year resident of the adjacent historic neighborhood of Beacon Hill.

The Charles F. Hurley Building is one of Boston's modernist treasures. Designed as part of the Government Service Center (1962-71) under the supervision of visionary architect Paul Rudolph, the Hurley building, the Lindemann Mental Health Center, and the plazas defined by these two buildings, comprise a singular expressionist urban complex unequaled by any in the country. Despite years of deferred maintenance that has greatly diminished the appearance and functionality of the buildings and open spaces, the site retains an incredible amount of historic integrity. With careful preservation, the Hurley Building complex could be reclaimed as one of the city's most active and vital historic resources much as Quincy Market and Faneuil Hall were rejuvenated in 1976.

I am particularly concerned that the "Hurley Building Design Guidelines" (October 16, 2020) do not strongly advocate for preservation of the character defining features of the Hurley building. While stating that any changes are to be made according to the Secretary of the Interior's Standards for Rehabilitation, the Guidelines only call for renovations to "take care to respect historically significant aspects of the existing structure." Indeed, rather than emphasizing historic preservation, the Guidelines stress "contemporary innovative approaches." The Design Guidelines should more explicitly state the importance of the Hurley Building and its associated designed open spaces and require that they be preserved. Also, while the Lindemann Mental Health Center is not included in the Hurley Building Redevelopment Project it is important that any proposed changes take into consideration all of the complex's constituent elements including the plazas that were essential to the site's original design.

In short, I strongly encourage DCAMM to strengthen its commitment to historic preservation in the Charles F. Hurley Building Redevelopment Project. DCAMM has a fantastic opportunity to put forward an exciting and progressive project that embraces excellence in both design and historic preservation. I believe a project that leads with historic preservation would ensure that the site would become a world-class example of urban design and a model for rehabilitating modernist civic landscapes.

Thank you for allowing me to comment on this project. If you have any questions, I can be reached via email at mmcnamar@wellesley.edu.

Sincerely,

Martha J. McNamara
56 Pinckney Street
Boston, MA 02114

cc:

Jay Livingstone, State Representative, 8th Suffolk District
Kenzie Bok, Boston City Council
Greg Galer, Boston Preservation Alliance
Alison Frazee, Boston Preservation Alliance
Rob Whitney, Beacon Hill Civic Association
Meghan Awe, Beacon Hill Civic Association

Vladeck, Abigail S. (DCP)

From: Solar, Barry <Barry.Solar@NEMoves.com>
Sent: Thursday, December 17, 2020 9:10 PM
To: DCAMM, Hurleyredev (DCP)
Subject: Parking Requirement

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I question the requirement for 200 parking spaces.

I assume these spaces are to be for use of the Commonwealth in connection with its occupancy of the building, and not for use by occupants of any additional square footage constructed by the developer on the site.

In an urban setting, such as Government Center, where the Hurley building is located, parking spaces are an extreme luxury amenity. The Commonwealth cannot afford to provide this luxury amenity for its employees. Any parking spaces in the development should be for private, market rate uses.

The requirement for 200 spaces will significantly reduce the amount a developer is willing to offer in its proposal.

The Hurley building location is served incredibly well by public transportation. Accordingly, there is no need for 200 parking spaces for use by the Commonwealth.

Barry L. Solar
180 Beacon St. 4G
Boston, Ma. 02116
Cell: 617-823-8855
barry.solar@nemoves.com

***Wire Fraud is Real*. Before wiring any money, call the intended recipient at a number you know is valid to confirm the instructions.** Additionally, please note that the sender does not have authority to bind a party to a real estate contract via written or verbal communication.

Vladeck, Abigail S. (DCP)

From: Jimmy Su <Jimmy.Su@arup.com>
Sent: Thursday, December 17, 2020 8:00 PM
To: DCAMM, Hurleyredev (DCP)
Subject: A question about the Hurley Draft Project Proposal

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Hello,

Will the project design phase include a window of opportunity to conduct intrusive investigations to the existing building structure? This can very much help engineers develop more efficient solutions towards smart reuse of existing elements and owners avoid costly surprises during construction.

Thanks for the time and effort DCAMM has put towards developing a transformative direction for this area.

Jimmy Su P.E.
Associate | Structural Engineer

Arup
60 State Street Boston MA 02109
t: +1 617 864 2987 d: +1 617 349 9239
www.arup.com

Electronic mail messages entering and leaving Arup business systems are scanned for viruses and acceptability of content.

90 Charles St., Apt. #2
Boston, MA 02114
Dec. 23, 2020

Abigail Vladeck, DCAMM Project Manager
One Ashburton Place, 15th Floor
Boston, MA 02108
Via email only to hurleyredev.dcammm@mass.gov

RE: Public Comment on Draft Design Guidelines

Dear Project Manager Vladeck,

Thank you very much for the opportunity to comment on the Draft Design Guidelines of the Charles F. Hurley Redevelopment Project. I attended the public meetings by Zoom on November 19 and December 17, which were very beneficial to understand the proposal.

I am proud and grateful to live and work in the neighborhoods adjacent to the Hurley Building. I live in the historic Beacon Hill neighborhood and work at Government Center as a public employee. I have walked by the Hurley Building daily for many years and applaud the recognition of its historical significance.

I offer the following comment on the Draft Design Guidelines.

BUILDING DESIGN PRINCIPLE 2: DEVELOP AN INNOVATIVE AND COMPLEMENTARY NEW COMPOSITION OF MASSING AT VARIOUS SCALES.

Suggested Revision: Require shadow studies

The above Building Design Principle to complement the vicinity can be strengthened to require shadow studies. Specifically, the state and the city should protect the historic areas and minimize shadows from a new development at the project site. Studies or analyses of shadows should become part of the Draft Design Guidelines as well as the Request for Proposals and scoring of the proposals.

Rationale:

As the January 2020 report of Epsilon Associates identified, the Hurley Building borders on many historic resources, including the historic Beacon Hill neighborhood. Beacon Hill is the only neighborhood in the city of Boston which is entirely designated as an historic district. In addition to the neighborhood as a whole, the report of Epsilon Associates identified 15 sites within the neighborhood of Beacon Hill for their historic designations, including the African Meeting House, Vilna Shul, and the Temple Street Park. Furthermore, the Hurley Building is also across the street from the Old West Church and the first Harrison Gray Otis House, which are similarly listed for their historic designations.

Furthermore, shadow studies would be consistent with other considerations to limit the height of any new construction at the site. Concerns about aesthetics, historic preservation, and logistics reinforce the need for height limitations so that the historic neighbors are not dwarfed and in shadow of a new skyscraper. Lastly, height limitations should result from the underground presence of subway lines and parking because the depth to which builders could excavate would have to preserve the structural integrity and operations of the existing subway and parking infrastructure. The importance of protecting and not disrupting the existing subway lines underneath the site was discussed during the public meetings on November 19 and December 17.

Please contact me with any questions on this letter submitted electronically. Thank you very much for your consideration.

Sincerely,
Matthew Saradjian [msaradji@gmail.com]

From: [Peter S](#)
To: [DCAMM, Hurleyredev \(DCP\)](#)
Subject: Hurley Redevelopment Public Comment
Date: Saturday, December 19, 2020 4:47:34 PM

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Dear DCAMM,

Thank you for hosting the virtual Public Hearings during this pandemic environment. I would like to echo many of the excellent points that were made during the public hearings:

- Before any proposals are accepted, shadow studies must be carried out to ensure the shadow laws are complied with to avoid casting shadows on the Historic District of Beacon Hill. A height limit needs to be established before proposals are taken. A multi-storied tower should be avoided to prevent these issues.
- It is critical to obtain the input from the civic associations of the West End and Beacon Hill for this redevelopment project.
- As Jim Campano (West End expert) stated, it is crucial to consider the original West End residents who were displaced by Urban Renewal and their needs and insights on this redevelopment project. This will significantly help heal a lot of the damage that was done by the bulldozing and displacement of the original West End. These residents should be given priority over others to relocate to any housing created by the Hurley Redevelopment project.

Sincerely,

Peter Saradjian
Beacon Hill Resident

Minutes of Public Hearing re: Asset Management Board Project Proposal:

Charles F. Hurley Building Redevelopment Project, Boston, Massachusetts

Date: December 16, 2020

Time: 6:30 pm to 8:00 pm

Place: via Zoom Webinar

The meeting was held by Zoom Webinar and included approximately 148 participants.

The panelists included:

Carol Gladstone, *DCAMM Commissioner*

Abigail Vladeck, *DCAMM Director of Public/Private Development Partnerships*

Drew Leff, *Stantec Architecture and Engineering, PC*

Paul Crowley, *DCAMM Deputy Commissioner for Real Estate*

Henry Moss, *Principal, Bruner/Cott Architects*

Emily Glavey, *DCAMM Senior Project Manager, Office of Planning*

Michael Grant, *Stantec Architecture and Engineering, PC*

Tamara Roy, *Stantec Architecture and Engineering, PC*

Regan Checchio, *Regina Villa Associates*

Amanda Poggenburg, *Regina Villa Associates*

Freya Bernstein, *DCAMM Deputy General Counsel*

Steven Zeller, *DCAMM Deputy General Counsel*

Inge Gomez-Michel, *Spanish Interpreter*

Heidi Thomas, *Closed Captioner*

Ms. Checchio began the meeting at approximately 6:05 pm with several announcements, including:

- The meeting was being recorded.
- If participants did not want to become part of the distribution list for notifications about this project, they could go to the DCAMM website and 'unsubscribe' from this list.
- She also introduced the Spanish language interpreter, Inge Gomez-Michel and the closed captioner, Heidi Thomas before introducing the AMB Chair and DCAMM Commissioner, Ms. Gladstone.

Ms. Gladstone welcomed participants to the meeting. She stressed that the Asset Management Board process was not to approve any specific redevelopment plan, but rather to approve a process for disposition and acquisition of real estate interests. She said that doing nothing to improve the Hurley Building was not an option, as it was nearing the end of its useful life and would require approximately \$225 million dollars in deferred maintenance in the near future. She noted that Asset Management Board (AMB) member Mary Lentz was also a participant in this meeting.

Ms. Vladeck asked participants to respond to two interactive questions, the results of which were as follows:

Question 1 – Did you attend the November 19, 2020 public hearing regarding design issues for the Hurley Building redevelopment project?

Responses: Yes – 67 (60%);
No – 45 (40%)

Question 2 – In what capacity is your interest in the Hurley Building redevelopment project?

Responses:

Neighbor – 28 (25%)
Development Professional – 36 (33%)
Advocate – 15 – (15%)
Elected/Government Official – 9 (8%)
Other – 21 (19%)

Ms. Vladeck then described the AMB process. The Board had previously approved a preliminary Project Proposal and is expected to approve at a future meeting a final Project Proposal. Such approval by the AMB would only be to authorize a request for proposals (RFP) to conduct a competitive alternative disposition process. She emphasized again that the AMB was not approving a redeveloper or a redevelopment plan, only the competitive process to procure them.

Ms. Vladeck indicated there were three main reasons that DCAMM is proposing this project:

1. Create a cost-effective way to improve the Hurley Building.
2. Consolidate downtown Boston state office uses.
3. Better integrate the facility into the neighborhood.

She noted the site contains approximately 3.25 acres of land and that the Hurley Building contains approximately 327,000 square feet, of which approximately 241,000 square feet are usable. The building was completed and first occupied in 1971.

Ms. Vladeck indicated that the public-private partnership model of redevelopment would be used whereby DCAMM would procure a developer, enter into a ground lease and then ‘lease-back’ office space from the redeveloper at reduced cost to the Commonwealth for Commonwealth office space. The chief advantages of a public-private partnership are:

1. Enliven the site with a greater diversity of uses.
2. Introduce private capital by leveraging the value of the site.
3. Stabilize occupancy costs for the Commonwealth in the downtown Boston market.
4. Engage private sector creativity.

Ms. Vladeck indicated that Merrimac Plaza would be identified as a potential “Open Space Improvement Area,” with the Commonwealth retaining the right to take back portions of the Plaza, if needed, for other development. She said that the public benefits of the proposed project included the following:

1. Financial Benefits. These include stabilizing and minimizing the cost of the Commonwealth’s long-term office space needs in Downtown Boston. In addition, the proposed approach will also address the current, approximately \$225 million capital liability of the Hurley Building.
2. Long-term lease to Commonwealth. The Commonwealth will benefit from the certainty of a long-term tenancy (up to 99 years) or commercial leasehold condominium in improved space at stabilized, below-market rents.

3. Addressing capital needs. This project will bring the site up to modern standards, including retrofits to reduce energy consumption, and upgrades to interior spaces to better address program and customer service needs. By leveraging the Disposition Site's value, the Commonwealth will be able to address these concerns and eliminate a capital liability of approximately \$225 million.
4. Improved urban design. The redevelopment will enliven what is currently an imposing, unfriendly block in Downtown Boston by bringing a mix of uses and greater density to the Disposition Site and re-thinking the street-level experience (including open space, ground-level activation, and the introduction of a mid-block passageway between Staniford and New Chardon Streets).
5. A thoughtful approach to historic preservation. The Disposition Site is part of the Boston Government Service Center ("BGSC"), for which esteemed modernist architect Paul Rudolph served as the coordinating architect. The complex as a whole is admired by fans of Brutalist architecture. DCAMM is in consultation with the Massachusetts Historical Commission and preservation advocates on an adaptive reuse approach that respects the significance of the site while allowing for much-needed improvements (hence, inclusion of the "Open Space Improvement Area" in the Disposition Site offering).
6. Economic benefits. This project will create both temporary and permanent jobs and will generate tax revenue for both the city and state. The magnitude of each of these benefits will depend on the specific redevelopment approach selected.
7. Transit-oriented development. As the Commonwealth seeks to address traffic congestion and reduce greenhouse gas emissions, concentrating development in transit-accessible locations is key to future growth. The site is near all four MBTA lines and the Commuter Rail at North Station.

Ms. Vladeck indicated that DCAMM's minimum requirements for the redeveloper would be to provide up to 350,000 square feet of office space for Commonwealth use (either on-site or off-site) and to provide approximately 200 parking spaces to service the building.

The RFP to select the redeveloper will include evaluation criteria including the following:

1. Team Qualifications
2. Development proposal
3. Design proposal
4. Financial offer

Ms. Vladeck indicated that the redeveloper would be responsible for procuring all financing and required permits. At this point, she indicated it is unlikely the Hurley Building would be completely demolished as that is a question that many people have voiced regarding the project. She then discussed the timing of the project and indicated that DCAMM expected to have AMB approval and select a redeveloper in calendar 2021 and that financing and permitting would occur in 2021 and 2022. She noted that the public comment period for the AMB Project Proposal would end on December 23, 2020 and urged participants to leave their comments at the website created by DCAMM and shared on screen.

Ms. Vladeck then invited elected officials to identify themselves.

Kenzie Bok, District 8 Boston City Councilor, noted the site's history as part of the clearance of the West End, and encouraged DCAMM to use the project to address community concerns – including community space, breaking up the superblock, and neighborhood-oriented retail – in addition to the Commonwealth's own space needs.

Ms. Checchio then opened up the hearing for comments from participants, indicating that they could use the 'raise your hand' feature to be recognized and speak or type in the 'comments' section. In response to an inquiry as to whether historical tax credits would be available, Ms. Vladeck indicated that it would up to the developer to finance the project. There was discussion regarding current uses at the adjacent Lindemann Center building. Ms. Vladeck indicated that the building is used for mental health services including day and residential programs and a homeless shelter.

Jim Campano, who identified himself as affiliated with West End Housing Corporation, indicated he wants to see housing as a priority at the site and noted that the adjacent Brooke Courthouse was supposed to include housing.

A question was raised whether the attendance list would be shared, and it was indicated that it would not be to preserve people's right to attend the public hearing anonymously.

There was discussion regarding the possible term of the Commonwealth's space lease, and Ms. Vladeck indicated the space lease would not have to have the same term as the ground lease. The space lease is expected to be a long-term lease with extensions, but not exceeding 99 years in total.

There was discussion regarding the importance of historic preservation in the selection process. Participants were urged to review the Draft Design Guidelines, including the Building Guidelines section. These Guidelines will constitute an important component of proposal review.

There was discussion regarding the layout of the site and the fact that there are often many 'illegally' parked vehicles on the Merrimac Plaza. It was noted again that responses to the RFP must address the 200 parking space requirement (currently located on and under the interior site Plaza). In addition, it was noted that there is an open passageway the bisects the Lindemann Building that may be used for improvements to the Plaza area.

A participant identified himself as Ron Iacobucci of Workforce Development/South Shore and indicated he used to live at a now discontinued address in the West End that is now the location of the Hurley Building. He stated that, if housing was permitted in the redevelopment, some should be reserved for affordable housing and displaced persons from West End Urban Renewal. He said that over 20,000 persons were displaced from the West End. He also questioned whether Workforce Development and the Department of Unemployment Assistance will be allowed to remain in Hurley Building and advocated for keeping them at this location. Commissioner Gladstone indicated that most of the current state agencies located at the Hurley Building would return to the refurbished building once the project was completed.

There was discussion regarding how to integrate the site into the neighborhood, including issues regarding site lines down Cambridge Street to the West End Church and attempting to bring together the West End and Government Center areas.

A participant identifying himself as Duane Lucia noted that the Otis House on Cambridge Street was moved back from the street approximately 20 feet in the 1920's to preserve site lines.

Jamie McNeil, identified himself as affiliated with Local 26 of the Hospitality Workers Union, advocated for diversity and workforce development requirements and cited the Massport's Omni Seaport project as a model. Ms. Vladeck indicated that women and minority business participation would be a factor in evaluating proposals.

There was discussion regarding how much office space would be required by the Commonwealth given recent workplace changes and the enhanced ability to work remotely. Ms. Vladeck indicated that up to 350,000 square feet would be needed as it was possible to consolidate several downtown Boston leases into the refurbished Hurley Building. There was discussion about the uncertainty of commercial real estate market and possible future uses for the site.

A participant identifying himself as Kelvin Dickinson asked how the design elements of proposals would be evaluated and whether the public art would be preserved. It was noted that the sculpture on the site was not particularly significant but that murals inside the entrance to the Hurley Building were more significant and some effort to preserve them would be desirable. It was suggested that interested persons could review Henry Moss' historic analysis on DCAMM's website for context and further information.

There was a question regarding how proposals would be evaluated. Ms. Vladeck reiterated that design (including preservation, public space, and open space), financial strength, satisfying the Commonwealth's space needs, and minority/women business participation would all be factors.

There were comments reflecting the desire for the Hurley Building to become carbon net neutral and having limited environmental impact.

It was noted that there are several development projects commencing in the area, including Massachusetts General Hospital and the Boston Public Library branch on Cambridge Street. There were comments urging the Commonwealth to ensure these projects were developed in a cohesive manner. Several people indicated that including the Lindemann Building in this project would provide an opportunity to transform the entire block.

There was discussion on preserving at least the façade of the Hurley Building (facadism). Ms. Roy indicated that the Commonwealth has indicated it is open to a range of options with a goal of preserving the historic nature of the Building.

Regarding the architecture of the Hurley Building, comments ranged from calling it an "important work of Paul Rudolph" and a "masterpiece" to it being an "eyesore" that should be torn down.

Ms. Vladeck reminded participants that the comment period for both the Preliminary Project Proposal for the AMB and the Design Guidelines is December 23, 2020 at 5 pm.

Minutes prepared by: S. Zeller, DCAMM

Appendix E: Other Public Comments Received by DCAMM on Overall Project and Summary of First Public Meeting

From: [DCAMM, Info \(DCP\)](#)
To: [Vladeck, Abigail S. \(DCP\)](#); [Cocciardi, Matthew \(DCP\)](#)
Subject: Fwd: Save Paul Rudolph's Government Service Center
Date: Saturday, November 2, 2019 8:58:04 AM

Please see below email.

Begin forwarded message:

From: Olivia <org.glennon@gmail.com>
Date: November 2, 2019 at 8:54:28 AM EDT
To: info.dcammm@mass.gov
Subject: Save Paul Rudolph's Government Service Center

To whomever it may concern,
As a long-time resident of Massachusetts who currently works in Boston, I am writing to express my disapproval of the harm being done to the Government Center area. The Boston City Hall and Government Service Center Buildings have significant historical, artistic, and architectural value and should be preserved as historic sites. Any renovation should be improving and preserving this buildings, not destroying them.

Olivia Glennon

Form Name:	Charles F. Hurley Building Redevelopment Comment Form
Submission Time:	March 14, 2020 9:22 am
Browser:	Mobile Safari 11.0 / iOS
IP Address:	73.238.113.8
Unique ID:	590046783
Location:	42.373100280762, -71.01619720459

Name	Paul Fanning
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Organization Name	Self
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Address	100 Lovejoy Wharf Boston, MA 02114
----------------	---------------------------------------

Email address	fpfanning@comcast.net
----------------------	-----------------------

Please re-enter email address	fpfanning@comcast.net
--------------------------------------	-----------------------

Phone	(857) 234-8804
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Comments	<p>I strongly support a complete tear down of the Hurley building. I live in the area and walk by it frequently. It is unattractive (brutal to look at) and unwelcoming despite it being a public building. It's a very inefficient usage of space when land is at a premium. We need a completely new design which incorporates both public and private sectors and multiple uses including housing. This could include a portion for affordable housing. The new design should go high and not be afraid to limit the height to 5 or 6 stories. Make it bold, as tall as zoning will allow in the area such as 600 feet.</p> <p>Renovation and preservation will be a waste of money and a major mistake.</p>
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Form Name:	Charles F. Hurley Building Redevelopment Comment Form
Submission Time:	April 14, 2020 10:02 pm
Browser:	Mobile Safari 13.0.5 / iOS
IP Address:	216.66.101.215
Unique ID:	600314239
Location:	43.594299316406, -72.667900085449

Name	Caroline DeStefano
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Organization Name	Beacon Hill Resident
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Address	9 Temple Street # 2 Boston, MA 02114
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Email address	carolinedestefano10@gmail.com
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Please re-enter email address	carolinedestefano10@gmail.com
--------------------------------------	-------------------------------

Phone	(617) 480-1639
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Comments	<p>Dear Abigail,</p> <p>Please consider building a structure that fits with the general architecture of Beacon Hill, that has some green space and blocks as little light as possible.</p> <p>Also consider allowing the first floor to be storefronts such as a bakery. It would be great to help beautify the neighborhood and would provide commercial rent to the state of MA.</p> <p>Kind regards,</p> <p>Caroline DeStefano</p>
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*Neighbors
Helping
Neighbors*

74 Joy Street

Boston

MA 02114

617.227.1922

info@bhcivic.org

www.bhcivic.org

April 16, 2020

Abigail Vladeck
Senior Project Manager
Division of Capital Asset Management & Maintenance
Office of Real Estate
One Ashburton Place, 15th Floor
Boston, MA 02108

Re: Charles F. Hurley Building Redevelopment

Dear Ms. Vladeck:

Since 1922, the Beacon Hill Civic Association ("BHCA") has strived to preserve and enhance the quality of residential life on Beacon Hill and the downtown neighborhoods. In this regard, we very much appreciate the opportunity to provide initial comments to the Division of Capital Asset Management & Maintenance on the Commonwealth's proposal to ground lease the site of the Hurley Building to a redevelopment partner, who is expected to construct one or more large buildings along Cambridge Street, Staniford Street and New Chardon Street in the West End, immediately across Cambridge Street from Beacon Hill (the "Project"), as you prepare to issue a solicitation for proposals for the Project from a redevelopment partner (the "Solicitation").

Solicitation Process and Outcome: We raise a number of specific issues below; these should become part of the Solicitation process, from start to finish. It is critical that these issues be an explicit part of the initial Solicitation that is issued, as well as being used to guide decisions about a redevelopment partner and the Project. Proposals should be evaluated and selected in significant part on how well they meet the objectives below, as well as other issues raised by nearby communities during this process.

Board of Directors 2019-2020

CHAIR	CLERK	DIRECTORS	James Ewing	Andrew Kirk	Tim Pingree	Colin Zick
Eve Waterfall	Ben Starr	Leslie Adam	Russ Gaudreau	Michelle Lavers	Charlotte Thibodeau	
PRESIDENT	TREASURER	Meghan Awe	Keeta Gilmore	Josh Leffler	Rachel Thurlow	EXECUTIVE DIRECTOR
Robert Whitney	Emi Winterer	Emily Claire	Katherine Judge	Maggie Moran	Janet Tiampo	Patricia Tully
		Tom Clemens	Bruce Kiernan	Rajan Nanda	Renée Walsh	

We are apprehensive that, unless the full range of issues are a specific part of the initial Solicitation, this process will strongly tend toward creating the largest conceivable office building on the site. That is very much the wrong outcome for this site.

Traffic: Residents have acute concerns about vehicular traffic, as well as pedestrian and cyclist safety, along Cambridge Street and the connecting streets. There is every reason to expect these issues will return once the current crisis eases. The Solicitation should state that there should be no increase in the size of the Project's parking garage, as additional parking only serves as a magnet to further draw vehicles to Beacon Hill, the West End, and nearby areas. Planning for the project should include greater reliance on public transportation or other alternative options to avoid exacerbating an already overloaded traffic system in this area.

Traffic congestion along Cambridge Street has also been a substantial factor in diverting truck and automobile traffic, including numerous rideshares, through the narrow streets of Beacon Hill, which cannot safely accommodate such traffic. The Project must take into consideration a neighborhood plan to lessen the impact of increased traffic.

One of the primary goals of the redevelopment, as we understand it, is to allow the Commonwealth to consolidate existing leases for office space in the downtown area into the Project. However, as discussed above, any expansion of office space must avoid increasing vehicle traffic in the area.

Mixed Uses: The Solicitation should consider the role that other uses of the site, such as residential, might play in allowing a successful redevelopment of the site and an improved public realm, while reducing the traffic and other adverse impacts of the Project.

Tenanting ground floor areas of the Project with restaurants, retail and other uses that will generate activity into the evening hours would enhance the neighborhood. The additional evening activity would also improve the safety of the area for residents and visitors.

The solicitation process should seek to include a public school in the Project. As has been widely reported, the City of Boston and in particular the downtown neighborhoods present a number of challenges for families seeking to remain in the city. The lack of public schools has forced many families to move out of the city. This creates essential issues for the health of our neighborhoods, as families are a critical element in the success of any neighborhood. It has proved extremely difficult to find suitable sites for public schools in Boston's downtown neighborhoods. The Hurley site presents a rare opportunity to address a critical need.

Project Design and Public Realm: The Project massing, design and streetscape along Cambridge and Staniford Streets will affect visitors and residents for decades to come, as the

existing building has since its construction. The Project presents an opportunity to substantially improve the quality of the public realm in this area.

We advocate for upper story setbacks on all sides of the Project to avoid urban canyons and the loss of light and increased wind disturbance that accompany such designs. The Project should avoid using the all-too-common superblock design, as it is inconsistent with the character of the area. The use of multiple buildings, with smaller and larger buildings, would fit better within the existing streetscape.

In addition, the design of the Project should respect its unique context, adjacent to the historic Old West Church and the Otis House buildings. These exceptional buildings are among the last vestiges of the early development and life in this area of Boston.

Mitigation of Light and Noise: The Solicitation should require that the Project minimize the post-construction effects of the Project's lighting and mechanical systems for nearby residents. Residents of the North Slope of Beacon Hill have reported issues with both in recent years, from nearby institutional and commercial buildings. In particular, it is important to visually screen and to minimize the noise from HVAC equipment. Residents currently find that when wind conditions carry the noise toward their homes, there is significant loss of quality of life in outdoor spaces and residences. Without careful planning and mitigation for the Project, it seems likely residents near Cambridge Street and Staniford Street will see these conditions worsen.

Construction Impact: With a large project and a two-year construction period, management of the construction impacts of the Project (such as noise, traffic disruption, pollution, access to local businesses and shopping, and so on) will also be crucial to residents' quality of life. Taken in conjunction with several additional proposed projects, including the nearby MGH Clinical Building and redevelopment of the West End Library, as well as others involving Massachusetts Eye and Ear and Storrow Drive tunnel construction, the Project's construction will place a burden on surrounding neighborhoods.

Cambridge Street Redesign: The City of Boston's efforts to redesign Cambridge Street are underway. Given that the Project's construction will extend through 2025, it seems imperative to coordinate planning for the Project with planning for Cambridge Street, including installation of bike lanes and planning for a Red/Blue connector of the MBTA subway lines, to ensure better traffic flow and a high quality pedestrian and cyclist streetscape.

Energy Use and Climate Impact: The Solicitation process should include an evaluation of sustainability and energy use, and commit to alternative approaches, such as how the Project might meet the goal of carbon neutrality and the use of carbon-free electricity for energy for the Project.

Abigail Vladeck
April 16, 2020
Page 4

Federal Site Restrictions: It has been half a century since this site was last redeveloped, in connection with urban renewal. The federal restrictions that were placed on the use of the site at that time have fully served their purpose. Should those restrictions conflict with the development of an appropriate Project, the Commonwealth should seek to have those restrictions modified, waived or removed.

We look forward to further constructive discussions regarding the Project.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Eve Waterfall", is written over a light blue rectangular background.

Eve Waterfall
Chair

cc: Senator Sal DiDomenico
Senator Joseph Boncore
Representative Aaron Michlewitz
Representative Jay Livingstone
Councilor Edward Flynn
Councilor Kenzie Bok
Jonathan Greeley, Boston Planning and Development Agency
Jane Wilson, West End Civic Association

Form Name:	Charles F. Hurley Building Redevelopment Comment Form
Submission Time:	April 19, 2020 12:59 pm
Browser:	Safari 13.1 / OS X
IP Address:	24.60.184.195
Unique ID:	601810140
Location:	42.373100280762, -71.01619720459

Name	Holly Laurent
Organization Name	N/A
Address	78 Pinckney Street Boston, MA 02114
Email address	hollyclaurent@gmail.com
Please re-enter email address	hollyclaurent@gmail.com
Phone	(617) 367-0065
Comments	<p>I live on Beacon Hill, and am very interested in the project involving the Hurley Building. While I appreciate that there are many competing objectives involved in this project and they are all valid, I am concerned that the historic significance of the building is not receiving enough weight in the process. While things like efficient use of space and improving occupancy rates are important, the state has an important role to play in preserving buildings that are architecturally important. The Hurley Building is one of those buildings. It is one of the most important buildings by the architect Paul Rudolph, and one of the few buildings in Boston of this unusual style. I would like to see more focus on restoring the building and improving the outdoor space in its interior than on maximizing the square footage permissible in the zoning rules or creating a more welcoming exterior or street level presence. In addition, adding square footage and developing "towers" will have other undesirable side effects such as increasing traffic in an area which is already significantly overburdened (and will become more so when Mass. General increases its space nearby) and also burdening a T system that is strained at the seams. Thank you for the opportunity to comment.</p>

Form Name:	Charles F. Hurley Building Redevelopment Comment Form
Submission Time:	April 27, 2020 7:20 pm
Browser:	Safari 13.1 / OS X
IP Address:	72.93.40.85
Unique ID:	605239350
Location:	42.343101501465, -71.123001098633

Name	Deborah Holt
Organization Name	None
Address	18 Revere Boston, MA 02114
Email address	deborahholt4@gmail.com
Please re-enter email address	deborahholt4@gmail.com
Phone	(617) 227-8898
Comments	<p>The Hurley Building must be protected and preserved. As a world-renowned example of Brutalist architecture, it is too important to become the focus of short-sighted efforts to generate revenue. Boston is a wealthy city and shouldn't have to sacrifice an architectural gem to raise revenue, especially when there are other more exciting options. \$200M isn't chicken feed, but it might be an approximation of how much money has not been spent maintaining this building over the years. Plus, a governor who resides in Swampscott and, thus, might well be guilty of not having an appropriate respect for the streetscape and history of Boston should not be calling the shots about the Hurley Building. Spend the \$200M to redesign the interior! And then maintain the exterior of the building!</p> <p>While adjectives such as unfriendly and unwelcoming are often used to describe the Hurley Building, there are many of us who don't see it this way. Many love the building for its muscularity and distinctive presence and hope not to face a future mourning its loss.</p>

Form Name:	Charles F. Hurley Building Redevelopment Comment Form
Submission Time:	April 27, 2020 11:18 pm
Browser:	Mobile Safari 13.0.5 / iOS
IP Address:	73.219.237.195
Unique ID:	605286308
Location:	42.349601745605, -71.074600219727

Name	Bettina A. Norton
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Organization Name	none
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Address	6 rollins place boston, MA 02114
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Email address	toninorton1@gmail.com
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Please re-enter email address	toninorton1@gmail.com
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Phone	(617) 894-4298
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Comments	<p>The Hurley Building is beautiful, and would have been more so, had it been properly completed. A leading Beacon Hill architect, James du B. McNeely, moved here from the Yale office of Paul Rudolph in the early 1960s to oversee its construction. The building AND the site offer us a very rare opportunity--with its combination of a stunning building with some land, in the center of our state and local government, with three subway stations and a bus terminal, to DO THE RIGHT THING for with the building and the site for our citizens and all residents.</p>
-----------------	--

When I founded Hill House on Beacon Hill, we directed programming so that we had a nursery school AND a senior center. The old folk loved to chat with the children as they trooped to the gym. I have regretted that this symbiotic relationship has been lost. We now have a golden opportunity to gain both a public elementary school and a facility for the aging among us. The use would mesh well with the whole idea of a Government Center, serving its people. And there is space for a children's playground Another plus would be that there would be little to commuting by car -- for a city deemed the worst in the nation for traffic.

As a resident of Beacon Hill in the same house since 1941 (and I was not born here), and who attended Peter Faneuil and Prince Schools, both now closed, I feel deeply for the interests of our community and the values of caring for its people, particularly the young and the very old.

Form Name:	Charles F. Hurley Building Redevelopment Comment Form
Submission Time:	April 27, 2020 11:32 pm
Browser:	Mobile Safari 13.0.5 / iOS
IP Address:	73.219.237.195
Unique ID:	605288566
Location:	42.349601745605, -71.074600219727

Name	Bettina A Norton
Organization Name	none
Address	6 rollins place boston, MA 02114
Email address	toninorton1@gmail.com
Please re-enter email address	toninorton1@gmail.com
Phone	(617) 894-4298

Comments	<p>May I add another important point? Government Center is the name of this area, for good reason. When I ran the newspaper, the Beacon Hill Chronicle, 1995-2002, we were contacted by Mr. Duffy, then head of the Northeast Region of the General Services Administration. He was upset about potential private development of City Hall Plaza. He could not get city newspaper coverage, he told me. We covered the story in several articles and then finally took an editorial position in opposition. I do believe our reporting was instrumental in the final decision not to remove the site from the public domain for a profit-making private enterprise, especially as the area had been taken by eminent domain. If anyone wishes to read all the coverage, the Boston Athenaeum has a complete run of the paper, Needless to say, so do I.</p> <p>This area should not be turned over to a private enterprise but instead dedicated to a worthy social purpose.</p>
-----------------	--

Vladeck, Abigail S. (DCP)

From: Allan Hodges <hodges2@comcast.net>
Sent: Thursday, November 5, 2020 8:38 AM
To: DCAMM, Hurleyredev (DCP)
Subject: Timing

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Why is this project taking so long to launch? I read about this months ago.

Your video is excellent in terms of explaining the purpose and need for the project. It even suggests improvements that make sense. The monolith and blank walls need to have more entrances and perhaps commercial uses to enliven the street.

Why not have a direct underground entrance into the underused MBTA Bowdoin Station? Station improvements should be included as part of the State funded project.

Be creative and move this project along. The dead space has been dead for far too long.

Allan Hodges FAICP

Vladeck, Abigail S. (DCP)

From: Kathleen Ryan <kmr0719@gmail.com>
Sent: Friday, October 30, 2020 2:06 PM
To: DCAMM, Hurleyredev (DCP)
Cc: jmforrestall; Ellenbogen, Linda; Thomas, Louise
Subject: St. Joseph's Church

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Hello, as you consider this project I note that you are looking at the historical component of the building as well as any surrounding historical entities. I have not seen any mention in the project materials or consideration of St Joseph's Church on Cardinal O'Connell Way in the West End. St Joseph's has been on the National Register of Historic Places since 1989. This should be added to the documents and reviewed in terms of impacts as consideration of this redevelopment moves forward.

I hope you are also considering impacts to the residents of the surrounding area in the West End as we have had unending construction and redevelopment requiring numerous variances and PDAs for many years now. Thank you.
Kathleen Ryan

Vladeck, Abigail S. (DCP)

From: elizabeth murray <emurray9947@hotmail.com>
Sent: Thursday, November 5, 2020 8:20 AM
To: DCAMM, Hurleyredev (DCP)
Subject: Design Request

Follow Up Flag: Follow up
Flag Status: Flagged

CAUTION: This email originated from a sender outside of the Commonwealth of Massachusetts mail system. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

Please restore pass through from New Chardon to Staniford at O'Connell Way.
Elizabeth Murray
11 Myrtle Street

Sent from my iPhone

PAUL RUDOLPH

HERITAGE FOUNDATION

November 19, 2020

Abigail Vladeck, AICP, Senior Project Manager, Real estate
Division of Capital Asset Management and Maintenance
1 Ashburton Place, 15th Floor, Boston, MA 02108

RE: Hurley Building Redevelopment Advisory Group

Dear Ms. Vladeck.

Thank you for sending us a copy of your November 10th letter to Brona Simon, about the redevelopment of the Hurley Building. We read it with great interest and also reviewed the new draft guidelines.

As you know, the Paul Rudolph Heritage Foundation is a non-profit organization representing the Paul Rudolph estate committed to preserving his architectural legacy for future generations and promoting the understanding of Paul Rudolph's ideas about architecture and urbanism.

Having read your letter and the latest draft guidelines, we are pleased about the intentions which DCAMM has declared for the Hurley redevelopment project.

The language of the letter and the guidelines show a respect for the design legacy of Paul Rudolph, and the value of the architecture of the Boston Government Service Center - particularly the Hurley Building. We are pleased to read of DCAMM's goal that all work on this project will be sympathetic and respectful to the design of this important part of the Commonwealth's architectural heritage. Thank you for moving in this direction.

We write to you now, requesting to be added to the Advisory Group for the Hurley Building Redevelopment.

With our extensive knowledge of Rudolph's work (including how his buildings have been successfully adapted for today's needs) we can make a meaningful and practical contribution to the Advisory Group. We can help in numerous ways, including offering suggestions for proposed changes and additions, and techniques for upgrading this historic building to meet sustainability standards in ways that would complement Rudolph's original design intent.

While our offices are in New York City, our focus on Rudolph's work is *nationwide* - and we have already shown tangible interest in the project (having traveled to Boston to attend March's public meeting). Logistically, there is no problem for us to attend Advisory Group meetings: we can do this either via zoom or in-person.

The worldwide architectural community is watching to see how the future of the Boston Government Service Center is handled - and the Paul Rudolph Heritage Foundation wants to contribute to the success of the redevelopment project.

If you have any questions, please do not hesitate to contact me at +1-917-242-0652 or by email at kelvin.dickinson@paulrudolphheritagefoundation.org.

Sincerely,



Kelvin Dickinson
President

CHARLES F. HURLEY BUILDING REDEVELOPMENT VIRTUAL PUBLIC MEETING

DATE: November 19, 2020 at 6:30 PM via Zoom

Project Team and Presenters

Name	Affiliation
Freya Bernstein	The Division of Capital Asset Management and Maintenance (DCAMM)
Aisha Bugg	DCAMM
Sarah Creighton	DCAMM
Paul Crowley	DCAMM
David Fixler	DCAMM
Mary Gardill	DCAMM
Carol Gladstone	DCAMM
Emily Glavey	DCAMM
Robert Greene	DCAMM
William Holt	DCAMM
Warren Madden	DCAMM
Elizabeth Minnis	DCAMM
Ganesh Ramachandran	DCAMM
Rayna Rubin	DCAMM
Lisa Verrochi	DCAMM
Abigail Vladeck	DCAMM, Presenter
Abigael Vogt	DCAMM
Henry Moss	Bruner/Cott, Consultant to DCAMM, Presenter
Michael Grant	Stantec, Consultant to DCAMM
Drew Leff	Stantec, Consultant to DCAMM
Tamara Roy	Stantec, Consultant to DCAMM, Presenter
Kate Barrett	Regina Villa Associates (RVA), Consultant to DCAMM
Regan Checchio	RVA, Consultant to DCAMM
Amanda Poggenburg	RVA, Consultant to DCAMM
Emily Getchell	Spanish Interpreter
Gabriela Herrera	Spanish Interpreter
Heidi Thomas	Closed Captioner

Purpose/Subject

The purpose of the public meeting was to introduce the Charles F. Hurley Building Redevelopment Project and to provide information about the Commonwealth's goals for the redevelopment and how the project team will work to ensure an excellent redevelopment partner is brought on to help achieve the project's goals. Staff presented the draft Design Guidelines for the redevelopment and asked attendees for feedback.

Format and Process

The virtual meeting included a presentation, interactive polling questions, breakout groups for discussion, and a question and answer session, where attendees could ask questions or make comments either by typing them in the Chat Feature or “raising a hand” to speak verbally.

PRESENTATION

A slideshow presentation was delivered at the beginning of the meeting. The [presentation](#) and [meeting recording](#) are available on the project website, www.mass.gov/hurley-redevelopment.

Regan Checchio, Moderator, Consultant to DCAMM, opened the meeting, provided an overview of how to participate in the virtual meeting, including how to access closed captions and interpretation services and ask questions, and reviewed the agenda.

Project Introduction

Carol Gladstone, Commissioner of the Division of Capital Asset Management and Maintenance provided opening remarks.

Abigail Vladeck, DCAMM Project Manager, welcomed attendees and introduced a [video](#) about the project. She then provided an overview of the Hurley Building, project goals, the public-private partnership and zoning and regulatory processes, and project timeline.

Ms. Checchio explained how participants can participate in polls before introducing Tamara Roy, Principal with Stantec, Consultant to DCAMM, who would review the draft design guidelines.

Draft Design Guidelines

Ms. Roy reviewed the project scope and area before introducing Henry Moss, Principal with Bruner/Cott, Consultant to DCAMM.

Mr. Moss provided an overview of the historical significance of the Hurley Building and architect Paul Rudolph’s building design, which was meant to include a central tower that was later eliminated from the design.

Ms. Roy reviewed neighborhood context of the project site, as the building is located prominently in downtown Boston with surrounding neighborhoods, including the North End, West End, Beacon Hill, and Financial District. She then provided an overview of challenges, opportunities, and principals of the draft design guidelines for urban design, building design, and sustainable design. Participants were invited to participate via poll questions about the relative importance of the design principals. See [Appendix A: Polling Questions](#) for the polling questions and results.

Ms. Checchio noted that there is a feedback form on the project website that has the poll questions as well as opportunities for more open-ended responses if participants would like to provide more detailed feedback.

Ms. Vladeck addressed some comments in the chat related to demolition and explained that, as a result of analysis and stakeholder engagement, the team thinks a redevelopment scenario that demolishes the entire Hurley Building is unlikely.

BREAKOUT GROUPS

Ms. Checchio provided an overview of the breakout group process before participants were sent to the breakouts for smaller group discussions about the material presented. See [Appendix B: Breakout Group Discussions](#) for a summary of comments and questions.

QUESTION AND ANSWER SUMMARY

Ms. Checchio welcomed everyone back from the breakout groups and opened the meeting to questions and comments. See [Appendix C: Chat Written Responses](#) for any written responses or comments from staff shared in the Chat feature.

Verbal Question and Answer Summary

Boston City Councilor Kenzie Bok thanked the State for holding the meeting and recognized it as part of a long-term process. She said that she has heard a lot from the surrounding communities about sustainability, the historic legacy of the building, and the superblock issue. Councilor Bok said that there is an eagerness in the neighborhood for changes that will benefit the community, such as early childhood space, community center space, and housing. She noted that the neighborhood has a number of major redevelopment projects underway, such as a project to revamp the West End Library, a proposal from MGH, the red-blue connector, and a project to revamp City Hall. Councilor Bok said that her goal for this project is something that's integrated well into the neighborhood and downtown fabric and that, while this is a State meeting and RFP process, there will also be a City planning process as well. She said that there was a lot of good conversation during the meeting and invited participants to follow up with her about the project.

An individual who identified him/herself as Beatrice Nessen expressed concern about deferred maintenance for the building and asked how future practices will prevent deferred maintenance and neglect. Ms. Vladeck replied that one of the strengths of public-private partnerships is that they can be negotiated in a way to smooth out those costs and invest in capital maintenance funds, so the team intends to structure the partnership in such a way.

An individual who identified him/herself as Matthew Jones asked for clarity around DCAMM's position regarding demolition and if it is totally off the table. He asked if, during the RFP process, a partner proposed a full demolition, would the team reject the scenario. He also asked if there was anything posted for the public addressing the decision-making process. Ms. Vladeck replied that it was not anticipated at the current time that a proposal that demolishes the whole building would prevail. She said the team is looking at adaptive reuse because the question is not whether to keep the building or tear it down, but more about how to take the core and the critical components of the structure and recontextualize it in a way that also meets all of the other project goals around sustainability, how the building meets the street, around activation, and capitalizing on being near transit. She said the main question is how to reimagine what's there.

An individual who identified him/herself as Duane Lucia said that the West End land is eminent domain land and asked the team to consider former West Enders in diversity discussions. He said the New Chardon Street Advisory Committee came up with plans for housing that should be taken into consideration. He suggested paths and streets use old names associated with the West End.

An individual who identified him/herself as Carissa Demore, representing Historic New England, said they are encouraged to see the historic significance of the Lindemann and Hurley campus highlighted in the design guidelines, as well as the requirement to preserve at least part of the building as an important component of the neighborhood. She cautioned the team that the objective to increase the capacity of the site should be balanced with preservation of the surrounding community character. She said they have concerns about the potential scale of a new tower impacting the residential neighbors. Ms. Demore said the sustainable design principles solicit a project that will meet existing requirements largely developed for new construction which may be challenging for a developer to apply effectively to the existing Hurley Building. She noted that this requirement could mean a redevelopment strategy that demolishes more of the Hurley Building than is necessary and questioned how environmentally sensitive a new building at the site could be if significant portions of the existing building are demolished and replaced with new construction materials. She requested the team pay attention to how sustainable any proposals will be over the long-term. Further, Ms. Demore said they welcome consideration of transit implications and said coordination among major development projects in the area in the next few years is imperative.

Written Question and Answer Summary (Verbal Responses to Questions Submitted in the Chat Feature)

An individual who identified him/herself as Jean Lawrence asked how much coordination there is between this project and other major projects in the area and along Cambridge Street, including the MGH master plan and replacement of the West End Branch Library. The urban design goals should be coordinated for the whole neighborhood. Ms. Vladeck replied that the project team is aware that MGH and the red-blue connector would impact Cambridge Street, as well as other projects that are in the pipeline. She said that coordination with other projects is something that the developer will handle, working with the City of Boston, MassDOT, the MBTA, and other partners. At this point, there is still time before the team will know exactly what the project is or who will be responsible for what, so it is difficult to provide a more specific answer. Ms. Vladeck clarified that the Design Guidelines will serve as guidelines for the developers to respond to. She said the guidelines will demonstrate to the developers what stakeholders think are the important aspects of the building that will need to be addressed by the project.

An individual who identified him/herself as Kristen Fritsch asked if evaluating the embodied carbon for the project will be part of the sustainability requirements. Ms. Vladeck replied that the project team is aware of this issue and wants to incorporate it into the project and the proposal selection. She said that, to the extent possible, the team would do that by relying on existing regulatory and policy frameworks, such as LEED.

Ms. Vladeck noted that there has been discussion around why the Lindemann Building is not included in the project. She said that the Hurley Building and Lindemann Building are two separate buildings with separate functions. The Hurley Building was built as an office building and the Lindemann Building functions as a mental health shelter. She said that it's possible to move the office workers around in a way that is not true of the vulnerable populations who are served in the Lindemann Mental Health Center so the team is moving forward with the Hurley Building project, which is doable in the timeframe they are working within. The project team understands that from the original design and a planning perspective, the two buildings want to be considered together so the team will ask proposers to talk about open space improvements and public realm improvements across the entire site, but they can only focus on the Hurley Building in terms of making it available for a long-term lease.

Group Leader Sarah Creighton noted there was a question from her breakout group. The group asked if there is an intended square footage and why. They also wanted to know if there is a target floor area ratio (FAR) and if it's believed that it's only possible with demolition. Ms. Vladeck replied that the FAR would depend on what the site will be used for. She said that the function will be determined in large part by the proposer/developer and what they think they can make work there. The project will go through an entitlement process with the City and MEPA and it will ultimately come down to the City zoning and visioning for the site. The project team has started discussions with the BPDA about zoning, to make it more consistent for the site.

An individual who identified him/herself as Ludmilla Pavlova-Gillham asked what the original vision for the program of the tower was at the time Paul Rudolph designed the complex. Ms. Vladeck replied that the tower was originally meant for health, education, and welfare programs. She said the project team hopes to bring those agencies back into Government Center.

An individual who identified him/herself as Lance Smith said that he hopes there will be an active and intentional initiative to include voices that are diverse and equitable into the process, to actively participate in the decision-making process. Ms. Vladeck replied that the project team intends to require the inclusion of meaningful diversity and inclusion opportunities for RFPs to be considered.

An individual who identified him/herself as Scott Oglesby asked how COVID and working remotely will affect the project. Ms. Vladeck replied that the Commonwealth's understanding in terms of office space for state employees continues to evolve but, while working locations are more flexible, office space will continue to be utilized. The Commonwealth is split

about 50/50 between leased space and owned space, so could close leases before needing to shed any owned spaces if it became necessary. In terms of the decision-making process, there are a lot of interests that need to be balanced at the site. Ms. Vladeck said the site is eligible for listing on the State and National registers of historic places and the project team is in consultation with the Massachusetts Historical Commission to coordinate on those issues. She said that the State is going to maintain office space on the site and will make sure that it's good space that meets their needs and financial requirements and will engage creative professionals to help find the right solution. Ms. Roy replied that there are creative and amazing architects in the city who can come up with great solutions to this project.

An individual who identified him/herself as Duane Lucia requested that the team consider former West End residents in the diversity discussion.

An individual who identified him/herself as Anthony Fusco asked if the assumption that the project needs a commercial developer to solve the issue implies that there will be massing on a scale that makes it feasible. Ms. Vladeck replied yes, but it's also part of how the team landed on the solution in the first place. She said that the location of the site can handle more development than what exists already, which is why the team included sustainability and transit-oriented development principles as well.

An individual who identified him/herself as Michelle Lambert asked if there are DBE/WBE requirements for the project team to meet. Ms. Vladeck replied that the team is taking an approach to engage developers creatively in figuring out a solution and wants to consider diversity and inclusion in that as well.

An individual who identified him/herself as Wilhelm Merck asked what documentation supports the decision to not demolish the building and what public input there was in that decision. Ms. Vladeck replied that the project team was required to notify the Massachusetts Historical Commission of the intentions to redevelop the site. The Historical Commission expressed concern about the project plans to move forward as the site is eligible to be listed in the registers of historic places, so the team is now moving away from contemplating proposals that would entail full demolition. Mr. Moss replied that there are differences between partial and selective demolition that are difficult to describe at a general level. He noted the library at the University of Massachusetts Dartmouth as an example of a Paul Rudolph building that involved alterations and demolition.

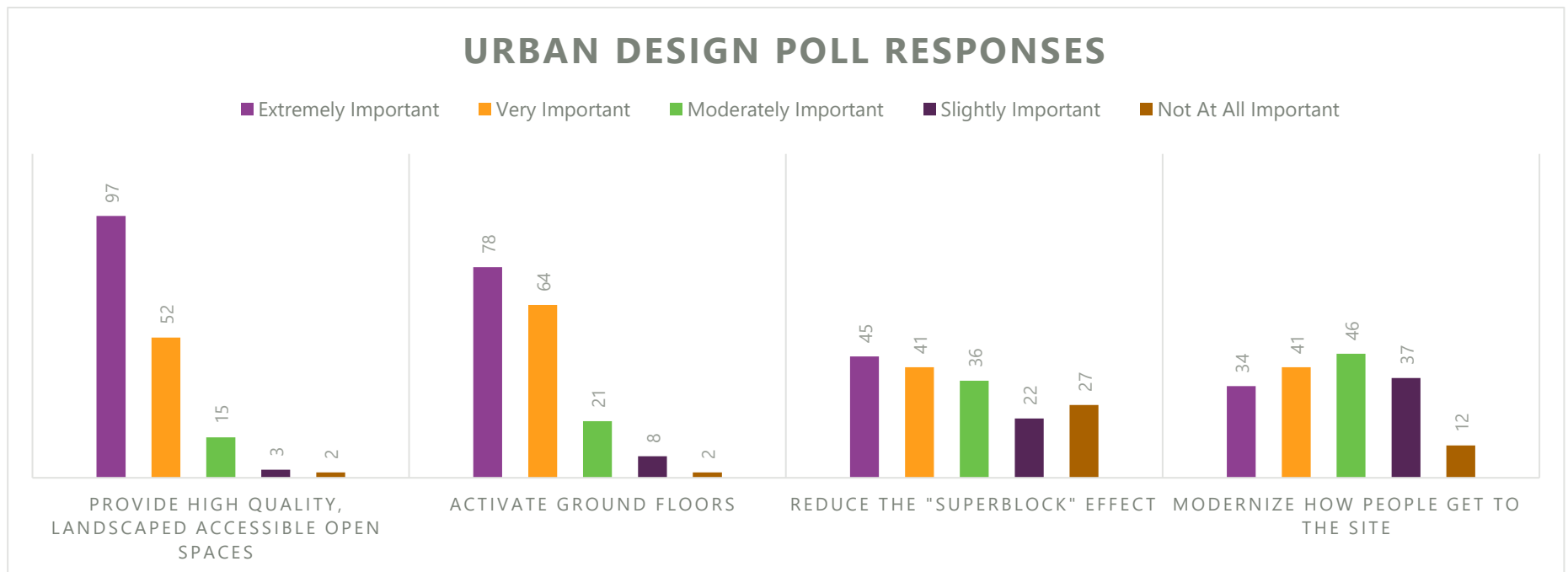
An individual who identified him/herself as Cyrus Dahmubed asked when the develop RFP is expected to be released. Ms. Vladeck replied that the team hopes it will be released early next year (2021). She said the team will hold another public meeting mid-December to present a final project proposal that will be put out for comments.

APPENDIX A: POLLING QUESTIONS

URBAN DESIGN POLL RESPONSES

The below table and chart include a summary of Urban Design poll responses from some or all those on the Zoom call.

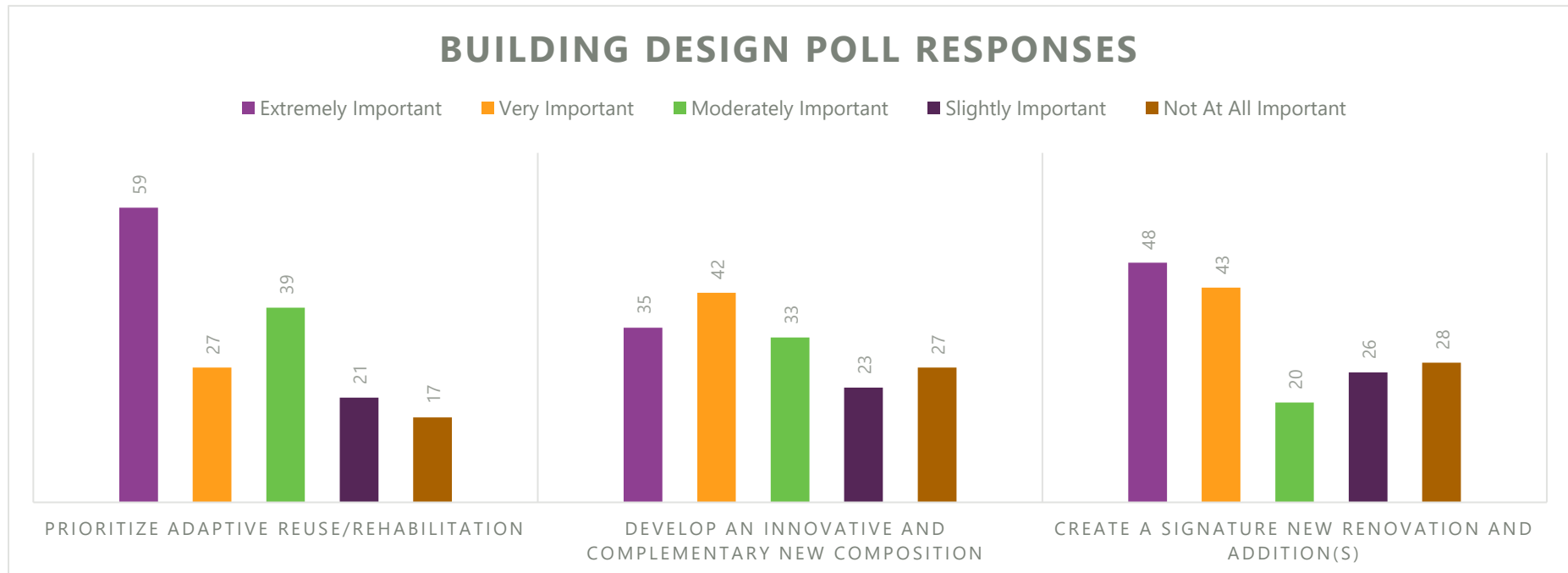
	Extremely Important	Very Important	Moderately Important	Slightly Important	Not At All Important	Total Responses
<i>Provide high quality, landscaped accessible open spaces at corner public plazas and safe, pedestrian-friendly sidewalks.</i>	97 (57.40%)	52 (30.77%)	15 (8.88%)	3 (1.78%)	2 (1.18%)	169
<i>Activate ground floors so that plazas and sidewalks are engaging, promote community life, and enrich the sense of place.</i>	78 (45.09%)	64 (36.99%)	21 (12.14%)	8 (4.62%)	2 (1.16%)	173
<i>Reduce the "superblock" effect.</i>	45 (26.32%)	41 (23.98%)	36 (21.05%)	22 (12.87%)	27 (15.79%)	171
<i>Modernize how people get to the site; focus on transit-oriented design.</i>	34 (20%)	41 (24.12%)	46 (27.06%)	37 (21.76%)	12 (7.06%)	170



BUILDING DESIGN POLL RESPONSES

The below table and chart include a summary of Building Design poll responses from some or all those on the Zoom call.

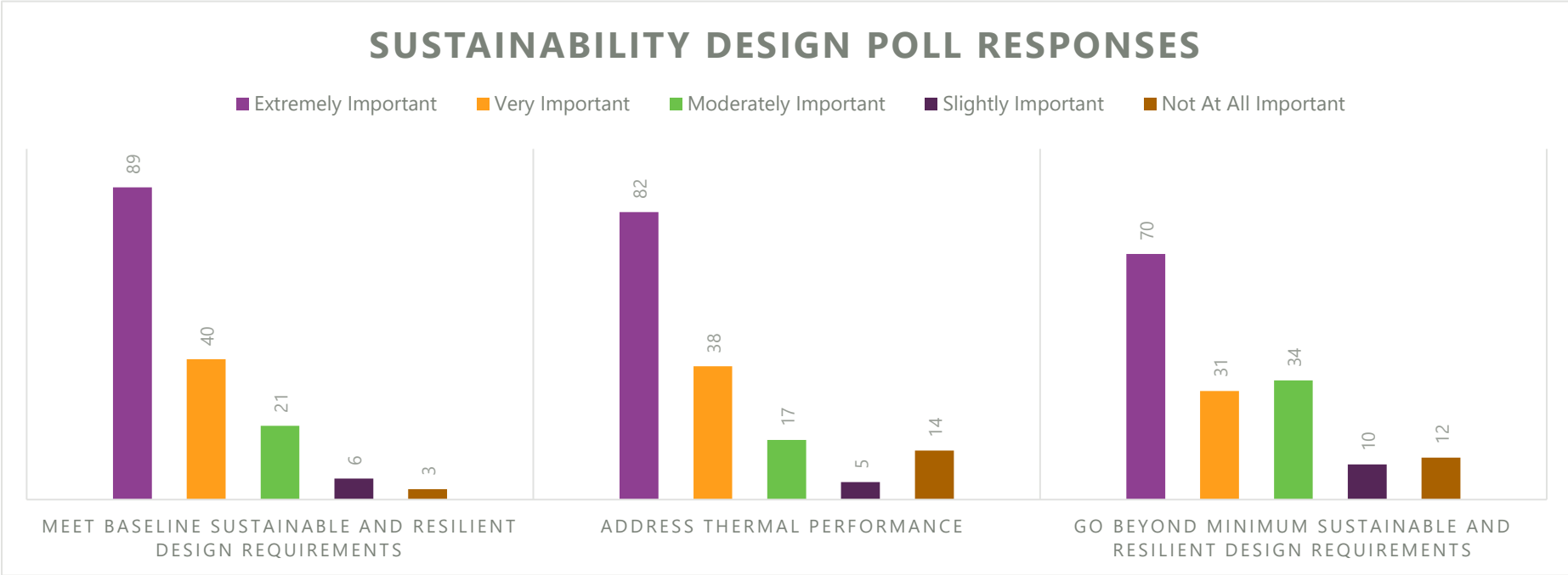
Questions	Extremely Important	Very Important	Moderately Important	Slightly Important	Not At All Important	Total Responses
<i>Prioritize adaptive reuse/rehabilitation.</i>	59 (36.20%)	27 (16.56%)	39 (23.93%)	21 (12.88%)	17 (10.43%)	163
<i>Develop an innovative and complementary new composition of building volumes at various scales.</i>	35 (21.88%)	42 (26.25%)	33 (20.63%)	23 (14.38%)	27 (16.88%)	160
<i>Create a signature new renovation and addition(s) that complements the existing Hurley/Lindemann/Courthouse block.</i>	48 (29.09%)	43 (26.06%)	20 (12.12%)	26 (15.76%)	28 (16.97%)	165



SUSTAINABILITY DESIGN POLL RESPONSES

The below table and chart include a summary of Sustainability Design poll responses from some or all those on the Zoom call.

Questions	Extremely Important	Very Important	Moderately Important	Slightly Important	Not At All Important	Total Responses
Meet baseline sustainable and resilient design requirements.	89 (55.97%)	40 (25.16%)	21 (13.21%)	6 (3.77%)	3 (1.89%)	159
Address thermal performance of existing Hurley Building.	82 (52.56%)	38 (24.36%)	17 (10.90%)	5 (3.31%)	14 (8.97%)	156
Go beyond minimum sustainable and resilient design requirements.	70 (44.59%)	31 (19.75%)	34 (21.66%)	10 (6.37%)	12 (7.64%)	157



APPENDIX B: BREAKOUT GROUP DISCUSSIONS

Discussion and questions from the breakout groups is summarized below, by group leader.

Group Leader: Sarah Creighton

Discussion and Questions

The focus on adaptive reuse is a good change.

Some of the scenarios entailed significant demolition, which is inconsistent with historic preservation.

Paul Rudolph's buildings have been lost around the world. Total demolition is not necessary, but partial intervention is.

Is there an intended square footage? If there is a target FAR, is it believed that is only possible with some demolition?

Who will determine the program mix of the final project? The developer or DCAMM?

There's a lot of Cambridge Street development – high rises and high rent create instability in the neighborhood. The project should balance history with new and viable development. The participant would like to see affordable home ownership options and suggested having a developer use cash flow from the state office and combine it with housing.

Green space is under-utilized and could be used more effectively and linked with other greenspace in the area. The community is crying for gardening space and urban green spaces for recreation and beautification.

Coordinate with MGH and the library. Redevelopment is a residential opportunity and a downtown school. It would be a great location for a school. There's already a bus stop, so it's an important location. It would be nice to have something for kids, including the green space.

The impenetrable façade is a challenge, but should be preserved.

How will proposals received during the RFP stage be evaluated? Proposals will be wildly different. It shouldn't just be about the money; they need to respect the history too.

This is an old building. Trying to retrofit will be difficult to make it a green building.

The most sustainable building is the one that already exists.

Development that is going up in the West End doesn't seem to fit with keeping the existing building and build something new as well.

Interested in learning more about the process of how the redevelopment will actually happen.

A participant couldn't see how a beautiful new sustainable building being built on top of the current structure could look like anything other than a new building dropped onto the old structure. It would be nice to have something complementary but more sustainable and energy efficient.

Group Leader: Paul Crowley

Discussion and Questions

The survey wasn't helpful. Questions in the second set of survey questions were difficult to understand. If folks are architects or planners, they might understand, but the questions meant nothing.

The building should be more permeable. It was more inviting when it was first constructed. It reminded the participant of the City Hall conversations. People have learned to admire City Hall, so preserve the building and bring it into the 21st century.

What has been changed since the building was delivered?

What are people willing to give to get? It was assumed that people knew the history of the building. What is the historical significance of the building? Is it just architect branding?

The building does nothing to bring the community together.

What will happen with the project site being in two zoning districts?

A participant asked for information on massing. Where it happens on the site is very important to the community.

The building has never been inviting. People can't go through. There's a concern about being isolated.

It's similar to the FBI building – an awful building that isolates.

This will be a State and City process. There are some big issues to address and it needs to be successfully integrated into the City.

Group Leader: David Fixler

Discussion and Questions

A participant recognized value in Paul Rudolph's work and Brutalism, but there is a need to renovate. The team should move away from full demolition. The superblock needs to be addressed, but the site needs to be viewed as an ensemble – an innovative and signature development.

It's good that it is anticipated currently that demolition is off the table as an option, now the project can move towards preservation. The Yale building could be a model for restoration and creativity to meet updated code requirements. It's important to absorb information for design and not just look at the bottom line.

The Hurley Building is not the Lindemann Building. The conversation has to be about Paul Rudolph's presence in the Hurley Building. The design of one building will affect the design of the other.

The inside of the Hurley Building doesn't work and is an awful place to work. The present site is dark and miserable.

The permeability of the Lindemann Building must be renewed. The goal should be the preservation of the Lindemann Building to offset changes to the Hurley Building.

How will the project achieve FAR density?

Regarding the building steps into the courtyard – is it worth surgically removing a piece?

What about the Cambridge side of the building? What will the building's relationship to Cambridge Street look like?

It's generally important to try to outline different approaches. There are many different uses for the building, including office, retail, housing, or laboratory space.

It's important to distinguish between the Lindemann and Hurley Buildings. How will private and government space work together? Paul Rudolph's design imprint on both building should be reflected in the guidelines. Partial demolition is wrong.

Since the project isn't just a private interest, other values should be integrated into it, not just the bottom line.

The site should allow more safe paths through and between buildings to break up the superblock.

The building should be looked at from the perspective of how it will be used and not just as a sculpture or a style.

The project team should look at how public and private users interact with the site.

Group Leader: Emily Glavey

Discussion and Questions

The redevelopment should work with the building in some way.

Paul Rudolph's building was unfinished, but important.

The building has been mistreated by agencies. The project team should bring in a great architect to add to and refresh the site.

If the building is taken down, it can't be rebuilt or replaced. Paul Rudolph's vision can't be replaced.

The preservation aspect is important here. What are issues that could result from demolition?

How does the building fit in? Another skyscraper wouldn't fit in. There should be shadow studies.

Preserving the building and meeting sustainability standards will be a challenge.

It's important to have a strong stance on this, but it's the development partner that will have to figure it out.

Keeping part of the building may scare away developers.

Every problem with the building can be fixed.

Is the project selling off part of the public realm? This can be something for everyone.

Thinking about the public is the important thing. Paul Rudolph's original intention did not include commercial space.

It would be a great opportunity to add the tower from Rudolph's vision to the site.

Perhaps making the superblock more open would provide an opportunity to connect through.

Has there been any thought of affordable housing?

Where is the T located? Is it beneath the site?

A participant was surprised that people don't like the building.

Group Leader: Michael Grant

Discussion and Questions

The project team should be as clear as possible as to what will be valued and what will be negative in the RFP responses.

What is the project budget?

Will there be an Impact Advisory Group?

Are the details of the Advisory Group meetings that have been part of the process available to the public?

Why, if Lindemann is retained, couldn't the Hurley Building be fully demolished and rebuilt as a better building? Lindemann could be the legacy building.

If there was a reason, demolishing the building wouldn't be bad. It's more about doing something great for the city than about retaining the existing Hurley Building or not.

The building's design made working in the building a bad experience. Demolishing wouldn't be bad.

The Hurley Building is one of the best buildings of this era.

The current negatives of the building aren't necessarily deal breakers. They could be corrected and the building would then be much better.

Breaking up the superblock doesn't seem important. The design was meant to read as a unified design.

A participant was concerned about having a tall building as well as having a major construction project in the area.

Erasing the building would be to erase an important symbol of urban planning and the aspirations of its time. This participant doesn't want to see another curtain of glass.

A participant was most interested in seeing the Hurley site become an integral and vibrant part of the city. It's important to intelligently find ways to preserve what's there.

Group Leader: Robert Greene

Discussion and Questions

These are public buildings that rely on public funding. The lack of upkeep is what put the building into disrepair. Maintenance was remarkably inefficient.

It would be more beneficial to have a delineation between buildings. The walkway between buildings was unknown.

Demolish the current building to make way for a new building to improve the inviting atmosphere.

The entrances need to be more welcoming. Landscaping should also be more inviting – the concrete detracts from public attraction.

The building height and tower proposal should be reconsidered.

The project presents a tremendous opportunity. The existing building has beautiful components that should be kept. Sustainability is more than making something energy efficient.

Improve accessibility to and from public transit and Blue Bike access.

There should be further discussion or review on whether partial or full demolition is decided or planned.

Increase space for public access, such as benches, walkways, lawn space, etc.

The amount of parking available for state employees is too great. The site should encourage the use of public transportation.

The Hurley Building is a "signature building" and cannot be made energy efficient due to concrete limitations, but accessibility and community space can be improved.

Group Leader: William Holt

Discussion and Questions

The group wanted to know if full demolition is still being considered.

Sustainability is the most important piece, both in energy conservation and embodied carbon.

There was interest in seeing diagrams about parts of the building that would be demolished.

Can the team share the future plans for Lindemann and how the building designs would relate?

There are options to improve through treatment of the façade instead of demolishing the building.

A participant was interested in an exploration of how wonderful the interior plaza could be.

It's important to dive more into Paul Rudolph's design mindset about the creation of this complex.

There was interest in further discussion about accessibility.

Group Leader: Drew Leff

Discussion and Questions

How will construction be controlled? Will there be noise on the weekends, etc.?

The building is hideous. The participant doesn't care if none of it is saved, they don't want the eyesore.

There is concern about the building height, particularly if it casts a shadow on Temple Street.

The guidelines are very well done.

The building height and scale are of some concern.

What uses will be allowed? Will it just be office space?

A participant expressed interest in a Life Science hybrid use.

Net zero should be the baseline and should be required. The participant is concerned about sustainability.

LEED Zero would be good.

The project team needs to plan for height that won't cast shadows. The height on the site won't impact Temple Street.

Balance is needed. The project team can't maximize all the guidelines shown – at some level, they conflict.

Group Leader: Warren Madden

Discussion and Questions

All design guidelines are equally important.

The draft design guidelines make a lot of sense. Keep the building framework, but more transparency and energy savings are a positive thing.

A participant was concerned about having more tall buildings in the neighborhood.

It would be helpful to tell everyone up front about decisions already made by the State so the public doesn't become frustrated with the process.

The public wants facts, so the team should inform the public on what decisions have already been made.

The polling was silly.

The building is ugly and doesn't match with the architecture of the neighborhood.

The project team should have more meetings to keep the public informed and involved in the redevelopment process.

The West End neighborhood needs to be preserved and not compromised by the redevelopment.

More communication and transparency regarding the redevelopment process would be nice. The team should share more information with the public.

People either love or hate the architecture of the Hurley Building, so show some examples of adaptive reuse of other buildings, such as the UMass Dartmouth Library.

Simultaneously redeveloping the Hurley Building and the Lindemann Building would be nice as an option.

How does the State plan on coordinating with other development projects in the area?

What is the due diligence to date regarding the design of the Hurley Building?

Will the State be making all the decisions regarding the redevelopment of the Hurley Building?

What is the estimated cost for the redevelopment of the Hurley Building?

What is the plan for the Lindemann Building and its patients?

Group Leader: Elizabeth Minnis

Discussion and Questions

It's hard to prioritize which design guideline was the most important, they were all important.

Activate and make a more permeable site.

This is a tremendous opportunity for the city!

The existing building has beautiful textures and depths.

The group was not in favor of a full demolition, but some change could be good.

The existing building is a beautiful sculpture that should not be changed.

The Hurley Building is a signature building that should be saved.

There is too much concrete – the site needs to be greened.

There should be more access to the site.

An opening between the Hurley Building and the Lindemann Building would be good.

The site should get rid of parking.

There should be underground passageways to protect people from the weather.

The site should encourage the use of public transportation.

The team should clarify how much demolition there would be on the site.

Group Leader: Henry Moss

Discussion and Questions

The building should be used to benefit the community inside the redeveloped site, such as public spaces, a senior center, education, with retail that would be useful to the neighborhood.

The present density at the site is far too low for the location.

The Hurley Building is mediocre compared to Boston City Hall and other mid-century modern buildings in Boston.

If the Lindemann Building stays, the loss of the Hurley Building wouldn't be as serious.

Paul Rudolph's library was disliked by everyone on the campus until it was altered and rehabilitated.

The team should include examples, such as the library at UMass Dartmouth, in future meetings to help people understand what demolition could include.

A participant had concerns about retention over radical, incompatible design. The examples of new buildings in the presentation were off-putting.

The project should enrich as much of the perimeter as possible with retail, public access, and community uses.

Group Leader: Ganesh Ramachandran

Discussion and Questions

A participant was concerned about what would happen with the mural in the existing building.

Would the State keep the existing building name?

DCAMM cannot decide single-handedly to demolish the building.

It would be a grave error to cut the project into pieces.

The site could be a fantastic mixed-use building with commercial office space, hotels, and cultural centers.

It's going to take a long time for participants to digest the information presented.

One participant challenged the public-private partnership prospect.

The polarization of preservation v. opportunity will continue to be one of the biggest challenges of this project.

Everyone needs to step back and be as objective as possible.

Is it possible to copy the mural?

DCAMM needs to be careful when it prioritizes one building over the other.

Group Leader: Lisa Verrochi

Discussion and Questions

A participant expressed interest in the reinvention of the existing building and creatively building upon it. He did not support demolition in any major form.

It's an unbelievable design challenge to embrace the building and make it work for our time – design professionals are up for that challenge.

The presentation was weak – the questions need to be more refined to produce productive discussion. There was a lot of ambiguity, but also a lot of decisions appeared to be made before the presentation.

If the project team is interested in bringing new life to the building from a sustainable view, they shouldn't repeat the past and obliterate it.

The whole block is ugly except for the Brooke Court House. There is nothing attractive with the Hurley Building – it's a confusing building.

With everything local residents know about the building and the serious issues regarding energy efficiency, design, and what that means for the redesign of the building, it would be fiscally responsible to the redesign to bring the building up to code – the least of which would be accessibility.

The site area has a long history of construction of new buildings and projects that exceed the current height limitations for the area. The community is skeptical and tired of being part of projects where their voices aren't heard.

There are a lot of buildings with green rooftops – those are good images.

One of the things missing from the conversation is the financial challenge of managing the Hurley Building.

What was the original purpose for the tower? Was it a government tower or a residential tower? It would be nice to know the original concept for the entire complex.

The Hurley Building is incredibly inspiring and beautiful. Use innovation to maintain the building. Deferred maintenance has led to more deterioration.

The building is spectacular and should be preserved. It would be interesting to see how a developer meets the sustainability goals and its compatibility with the Lindemann Building.

The landscaping and courtyard are important. The surrounding site is growing and should be considered by the developer.

A participant was interested in a proposal that would add to and update the building so DCAMM could accommodate the maintenance.

There's an element of education that needs to be considered. After touring and learning about the architect and building history, people can appreciate it more. The project should focus on adaptive reuse.

A participant expressed concern about the zoning regarding height and would like to keep the current zoning so that the building is in context with the neighborhood.

The building is a walkable area and there's no reason that there shouldn't be less cars than there are now. The neighborhood might be upset if there are more cars.

The committee that was looking into the Hurley Building were preservationists and that is an important factor and should be considered.

There should be more educational materials and programs about the buildings themselves.

APPENDIX C: CHAT WRITTEN RESPONSES

This table includes the comments and questions submitted in the Chat feature that received written responses.

Name	Questions/Comments	Response from Project Team
An individual who identified him/herself as Duane Lucia	<i>Will questions submitted prior, as requested, be addressed?</i>	<i>We will have time for Q&A later this evening and will address as many questions from as many channels as we can.</i>
An individual who identified him/herself as Sam Batchelor	<i>Could you please post the link to this presentation as well?</i>	<i>The link to the presentation will be posted tomorrow. Apologies for the confusion. The materials from this evening will be available on our project website: mass.gov/hurley-redevelopment.</i>

This table includes posts shared in the Chat feature by staff.

Posts from Project Team
<i>You can view and share the Hurley Building Redevelopment video on YouTube at https://www.youtube.com/watch?v=TJ6gRVlO-xg&feature=emb_logo</i>
<i>You can find the Draft Design Guidelines on the website: https://www.mass.gov/doc/charles-f-hurley-building-design-guidelines-draft-20-10-16/download</i>

Appendix F: Correspondence with Massachusetts Historical Commission and Historic Preservation Consultation Partners



January 24, 2020

PRINCIPALS

Theodore A Barten, PE
Margaret B Briggs
Dale T Raczynski, PE
Cindy Schlessinger
Lester B Smith, Jr
Robert D O'Neal, CCM, INCE
Michael D Howard, PWS
Douglas J Kelleher
AJ Jablonowski, PE
Stephen H Slocomb, PE
David E Hewett, LEED AP
Dwight R Dunk, LPD
David C Klinch, PWS, PMP
Maria B Hartnett

Brona Simon
Executive Director
Massachusetts Historical Commission
220 Morrissey Boulevard
Boston MA 02125

**Subject: Charles F. Hurley Building, Long Term Ground Lease
MHC Project Notification Form**

Dear Ms. Simon:

On behalf of the Division of Capital Asset Management and Maintenance (DCAMM), Epsilon is pleased to submit for your review and consideration the enclosed Project Notification Form (PNF) for the proposed long-term ground lease of the Charles F. Hurley Building in downtown Boston.

Through the authority of the Commonwealth's Asset Management Board, DCAMM is seeking to solicit redevelopment proposals and subsequently enter into a long-term ground lease for the redevelopment of the parcel of land occupied by the Hurley Building at the Boston Government Services Center (BGSC).

As proposed, the entire Hurley Building site will be ground-leased to a redevelopment partner who will lead the planning, permitting, financing, and construction for the site. The redevelopment partner will create new space for both private and state use, and will enable the Commonwealth to control office space for its own use over a period coterminous with the ground lease. In addition to creating new, modern office space for state employees, the project will ensure long-term cost stability for capital and operating budgets, will improve the public realm at and surrounding the BGSC, and will derive economic benefits through jobs and tax revenues associated with the anticipated large-scale development project.

This action is subject to review by MHC under Massachusetts General Laws, Chapter 9, sections 26-27C as amended by Chapter 254 of the Acts of 1988 (950 CMR71.00) due to the transfer of state-owned property. DCAMM looks forward to working with the MHC and interested parties in advancing this important project.

978 897 7100

FAX 978 897 0099

Richard M Lampeter, INCE
Geoff Starsiak, LEED AP BD+C
Marc Bergeron, PWS, CWS
Alyssa Jacobs, PWS
Holly Carlson Johnston
Brian Lever

3 Mill & Main Place, Suite 250
Maynard, MA 01754
www.epsilonassociates.com

Brona Simon
Massachusetts Historical Commission
January 24, 2020

2

If you have any questions regarding the enclosed PNF, please do not hesitate to contact me at (978) 461-6259.

Sincerely,
EPSILON ASSOCIATES, INC.



Douglas J. Kelleher
Principal

cc: Abigail Vladeck, DCAMM
Carol Meeker, DCAMM
Rosanne Foley, Boston Landmarks Commission
Greg Galer, Boston Preservation Alliance
Gary Wolf, DOCOMOMO New England

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH

APPENDIX A
MASSACHUSETTS HISTORICAL COMMISSION
220 MORRISSEY BOULEVARD
BOSTON, MASS. 02125
617-727-8470, FAX: 617-727-5128

PROJECT NOTIFICATION FORM

Project Name: Charles F. Hurley Building, Long Term Ground Lease

Location/ Address: 19 Staniford Street

City/ Town: Boston

Project Proponent

Name: Division of Capital Asset Management and Maintenance (DCAMM)

Address: One Ashburton Place, 15th Floor

City/Town/Zip/Telephone: Boston, MA 02108 (617) 727-4050

Agency license or funding for the project (list all licenses, permits, approvals, grants or other entitlements being sought from state and federal agencies).

Agency Name

Type of License or funding (specify)

Asset Management Board

Long Term Ground Lease. Consideration will be used to offset the Commonwealth's ongoing costs of occupancy.

Project Description (narrative):

DCAMM, through the Asset Management Board, seeks to enter into a Long Term Ground Lease of the Charles F. Hurley Building with a private developer. The Lindemann Center will be retained. See attached for further information.

Does the project include demolition? If so, specify nature of demolition and describe the building(s) which are proposed for demolition.

The current project is limited to the issuance of an RFP for a long-term ground lease of the Hurley Building to a private developer. The Massachusetts Historical Commission and the Boston Landmarks Commission will be provided an opportunity to review redevelopment proposals that may include demolition activities.

Does the project include rehabilitation of any existing buildings? If so, specify nature of rehabilitation and describe the building(s) which are proposed for rehabilitation.

The current project is limited to the issuance of an RFP for a long-term ground lease of the Hurley Building to a private developer. The Massachusetts Historical Commission and the Boston Landmarks Commission will be provided an opportunity to review redevelopment proposals that may include rehabilitation of the existing building.

Does the project include new construction? If so, describe (attach plans and elevations if necessary).

The current project is limited to the issuance of an RFP for a long-term ground lease of the Hurley Building to a private developer. The Massachusetts Historical Commission and the Boston Landmarks Commission will be provided an opportunity to review redevelopment proposals that may include new construction.

950 CMR: OFFICE OF THE SECRETARY OF THE COMMONWEALTH

APPENDIX A (continued)

To the best of your knowledge, are any historic or archaeological properties known to exist within the project's area of potential impact? If so, specify.

Yes, the Charles F. Hurley Building is included in the Inventory of Historic and Archaeological Assets of the Commonwealth and there are properties and districts listed in the State and National Registers of Historic Places nearby. See attached for additional information.

What is the total acreage of the project area?

Woodland _____ acres
Wetland _____ acres
Floodplain _____ acres
Open space _____ acres
Developed Approx. 3.25
_____ acres

Productive Resources:
Agriculture _____ acres
Forestry _____ acres
Mining/Extraction _____ acres
Total Project Acreage Approx. 3.25 acres

What is the acreage of the proposed new construction? N/A

What is the present land use of the project area?

Presently the property includes the Charles F. Hurley Building. Land use is primarily office space for state agencies, parking, and public pedestrian plazas.

Please attach a copy of the section of the USGS quadrangle map which clearly marks the project location.

See attached USGS locus map (Figure 1).

This Project Notification Form has been submitted to the MHC in compliance with 950 CMR 71.00.

Signature of Person submitting this form:  Date: 1/24/2020

Name: Doug Kelleher, Epsilon Associates, Inc.

Address: 3 Mill and Main Place, Suite 250

City/Town/Zip: Maynard, MA 01754

Telephone: (978) 461-6259

REGULATORY AUTHORITY

950 CMR 71.00: M.G.L. c. 9, §§ 26-27C as amended by St. 1988, c. 254.

Project Description (continued)

DCAMM, through the authority of the Commonwealth's Asset Management Board, is seeking to solicit redevelopment proposals and subsequently enter into a long-term ground lease for the redevelopment of a parcel of land at the Boston Government Services Center (BGSC). This action is subject to review by the Massachusetts Historical Commission (MHC) under Massachusetts General Laws, Chapter 9, sections 26-27C as amended by Chapter 254 of the Acts of 1988 (950 CMR71.00) due to the transfer of state-owned property. The BGSC was built between 1964 and 1970 and is a major work by Paul Rudolph, one of the nation's foremost post-World War II architects. Rudolph developed a master plan and design guidelines for the site, served as coordinating architect, and personally designed the Lindemann Mental Health Center. The Charles F. Hurley Building was designed by Shepley, Bulfinch, Richardson & Abbot.

The ground lease parcel is located within the BGSC in downtown Boston and is located at the southern portion of the BGSC, bound by New Chardon Street to the southeast, Cambridge Street to the south, Staniford Street to the west, and the BGSC to the north. A USGS map illustrating the location of the parcel is included as Figure 1. The ground lease parcel includes approximately 3.25 acres of land containing one building, the Charles F. Hurley Building at 19 Staniford Street. Figure 2 identifies the parcel proposed for disposition. The Lindemann Mental Health Center will be retained.

The BGSC has been used by the Commonwealth of Massachusetts since its initial phase of construction between 1964 and 1970. Presently the property is managed by DCAMM. The primary occupant of the Charles F. Hurley Building is the Executive Office of Labor and Workforce Development. Other state agencies occupying the building include Human Resources, the Group Insurance Commission, Health Information Exchange, Commission on the Status of Women, and Executive Office of Technology Services and Security. The adjacent Lindemann Mental Health Center is occupied by the Commonwealth's Department of Mental Health and holds in-patient and clinical facilities, a transitional housing center, and a 113-bed homeless shelter. The northeast corner of the site is occupied by the Edward W. Brooke Courthouse constructed in 1999.

The Commonwealth seeks to increase the amount of office space it has under long-term control (owned or long-term leased) in downtown Boston. The Commonwealth has a relatively stable headcount of employees who need to be in or proximate to downtown Boston, yet it currently accommodates about half of those employees in leased space with short-term leases. This creates undue market exposure and operating budget pressures that the Commonwealth is looking to mitigate – in part by increasing its occupancy at the Hurley Building site with better, more efficient office space and by using the value of private development rights on the site to offset the costs of that space. In addition, securing owned or long-term leased space on the Hurley Building site will reduce risk and market exposure by determining the Commonwealth's financial obligation upfront for a longer period of time.

As proposed, the entire Hurley Building site will be ground-leased to a redevelopment partner who will lead the planning, permitting, financing, and construction for the site. The redevelopment partner will create new space for both private and state use, and will enable the Commonwealth to control office space for its own use over a period coterminous with the ground lease. In addition to creating new,

modern office space for state employees, the project will ensure long-term cost stability for capital and operating budgets, will improve the public realm at and surrounding the BGSC, and will derive economic benefits through jobs and tax revenues associated with the anticipated large-scale development project.

The Hurley Building occupies a large and prominent site area. The building faces a series of challenges, including an estimated \$200 million in capital renewal needs. The existing electrical distribution is outdated, and the building has sustained substantial damage from leaking roofs, inadequate and failing roof drains, and poorly sealed skylights. Hairline cracks have been observed in the roof slab. The two-level parking garage has signs of leakage, concrete cracks, and delamination. The current building layout is inefficient, outdated, and expensive to maintain. On the building interior, the Hurley Building functions poorly for the agencies that occupy it and their employees, as well as members of the public who access the building's agencies. The upper floor lacks windows on three sides, and the geometry of the building is challenging for modern office layouts and best practices. Main entrances on the interior elevated plaza level, away from the street, are not obvious to the building's occasional users and provide an impenetrable front for pedestrians and an underutilized courtyard.

As the Hurley Building and Lindemann Center approached fifty years in age, DCAMM contracted with Stantec and Bruner/Cott Architects to develop a strategic preservation and redevelopment approach for the complex. Analysis of preservation priorities, current uses within the complex, current zoning, and structural configuration of the buildings were used to create a set of preservation recommendations for the site. The recommendations provide a framework to improve site circulation, activate street frontages, and improve interior building conditions while considering Paul Rudolph's original design intent for the site. As outlined in the attached Lindemann-Hurley Preservation Report (Appendix A), the redevelopment as currently envisioned may proceed along one of several different scenarios or variants thereof.

The Commonwealth's redevelopment strategy separates the Hurley Building and its site from the Lindemann Center, recognizing a distinction between the Rudolph-designed Lindemann Center and the Hurley Building, designed by Shepley, Bulfinch, Richardson & Abbot. The distinctive architectural design qualities of the Lindemann Center and its primary authorship by Paul Rudolph, combined with programmatic challenges at the Lindemann Center, make the Hurley Building more suitable for redevelopment alongside a retained Lindemann Center.

Four redevelopment scenarios have been conceptually explored to date and include planning alternatives with different historic preservation and urban design implications. The alternatives analyze varying opportunities to meet the Commonwealth's programmatic requirements, including building functionality and project economics. The analyses of these scenarios consider structural and technical feasibility, historic significance, and architectural quality. Development potential is assessed within the parameters of existing zoning for the site.

The scenarios are not intended to represent an exhaustive study of the site's redevelopment potential, but rather test outcomes for a broad range of approaches. All scenarios include the retention of Paul Rudolph's Lindemann Center. Unifying all approaches is the introduction of passage at the northern

boundary of the ground lease parcel to address circulation and streetscape challenges. The four scenarios are summarized below; further detail on each is provided in the attached Lindemann-Hurley Preservation Report (Appendix A).

Scenario A

A portion of the Hurley Building at its northeast end on New Chardon Street is removed and made available for new construction, likely a high-rise building. Allowing the greatest degree of retention of the existing building, this scenario provides limited opportunities to correct the existing urban design conditions. This scenario also limits opportunities to create a commercially viable floorplate on the buildable parcel, and is the least likely to generate adequate square footage to offset the Commonwealth's costs of continued occupancy at the site.

Scenario B

The portions of the Hurley Building fronting New Chardon and Cambridge Streets are removed and made available for new construction, potentially to include a high-rise on the Hurley Plaza and a lower building at Cambridge Street. The concrete colonnade along Staniford Street, along with its entrances and lobbies, are preserved. This approach allows for correction of some of the existing urban design conditions and may allow for a density that meets the Commonwealth's programmatic and financial needs and may be attractive to private developers.

Scenario C

The portion of the Hurley Building along Staniford Street adjacent to the Lindemann Center is removed and replaced with new construction. The portion along Cambridge Street is retained, triggering the need for costly upgrades to add a street-facing entrance and address structural instability. This alternative does not provide desired outcomes in any of the areas analyzed: historic preservation, urban design, and development opportunities.

Scenario D

The Hurley Building is removed in its entirety and the site made available for new construction alongside a retained Lindemann Center. The approach allows the greatest flexibility to address the existing urban design challenges and an opportunity to address Rudolph's original and unfulfilled vision for the BGSC through new construction sympathetic to the Lindemann Center and Rudolph's design guidelines. This approach maximizes the opportunity for new square footage to meet the Commonwealth's programmatic and financial needs, and will likely attract the greatest developer interest.

Historic Resources

The ground lease parcel consists of the Charles F. Hurley Building and its site, located at 19 Staniford Street in downtown Boston. The building is a significant component of the BGSC. The BGSC is included in the Inventory of Historic and Archaeological Assets of the Commonwealth (the Inventory) and has been determined eligible for listing in the National Register of Historic Places by the Massachusetts Historical Commission.

The BGSC consists of a complex of three buildings on an approximately 8.5-acre urban parcel. The site is bound by Cambridge Street to the south, Staniford Street to the west, Merrimac Street to the north, and New Chardon Street to the southeast. The BGSC was constructed between 1964 and 1970 and contains two buildings envisioned in Paul Rudolph's master plan for the site: the Erich Lindemann Mental Health Center and the Charles F. Hurley Building. The northeast corner of the BGSC is occupied by the 1999 Edward W. Brooke Courthouse. The Brooke Courthouse approximately occupies the area originally envisioned for the third structure at the site: a Health, Education, and Welfare Tower. The tower, along with several associated lower structures, were never constructed due to a lack of funding. As a result, Rudolph's vision for the BGSC was never fully executed.

The BGSC is within the Government Center Urban Renewal Area, a mid-twentieth century redevelopment project involving clearance of sixty acres of land. The BGSC was conceived as a site of state functions alongside municipal and federal facilities within the Government Center master plan. The development of the BGSC began under a master plan by I.M. Pei and Henry Cobb, and was an early project of the Boston Redevelopment Authority. Three architects were employed for the three envisioned structures. Paul Rudolph's involvement was initially as a consultant to the firm of Desmond and Lord, who were engaged to design the Lindemann Center. The design of the Hurley Building was led by Shepley, Bulfinch, Richardson & Abbot, and the initial architect for the Health, Education, and Welfare Tower was M.A. Dyer with Pederson & Tilney Company. Due to a lack of cohesion of the three structures, Rudolph ultimately became coordinating architect for the entire BGSC site and created a set of ten design guidelines to apply to the three buildings and associated public spaces.

Rudolph envisioned an enclosed, pedestrian scale courtyard and monumental street-facing elevations, and a centrally located 23-story, approximately 300-foot-tall tower which would signal the government services center from great distances. Rudolph himself redesigned the tower after the original architects were dismissed. Plans also featured setbacks at principal intersections for pedestrian traffic and outdoor seating to integrate the complex with the surrounding city. The Lindemann Center and Hurley Building were constructed in accordance with Rudolph's principles, while the proposed tower and associated lower structures at the corner of Merrimac and New Chardon Streets were never realized. The Lindemann Center was directly overseen by Rudolph while the Hurley Building was not. For thirty years, the New Chardon Street side of the site was fenced off for surface parking. In 1999, the Commonwealth constructed the Edward W. Brooke Courthouse on the site of the lower height portions of the envisioned tower. Construction of the Brooke Courthouse led to the completion of the parking structure and plaza.

Significant design elements of the BGSC include bush hammered corrugated concrete exterior surfaces, round ended piers, story-height cornice panels, vertical curvilinear towers, and terraced massing stepping down to the courtyard at the site interior. Apart from Merrimac Plaza, The Lindemann Center's character-defining features are largely intact despite deterioration of concrete surfaces and changes to original circulation patterns. Its monolithic concrete construction, rectilinear and opaque upper story, biomorphic volumes, long curving exterior and interior stairs, ribbon windows, and other key features remain legible and without significant alteration. The dramatic multi-story stair is closed due to lack of compliance with life-safety and accessibility codes, and benches and paving textures at the Merrimac Street plaza have deteriorated nearly beyond recognition.

The Hurley Building also remains intact on the exterior, with areas of concrete deterioration. While less dynamic than the Lindemann Center, key features – including colonnades of massive piers offset by recessed vertical glazing, a projecting soffit and cornice panels, and impenetrable street facing elevations – remain legible. Constantino Nivola's *Graffiti Murals* remain in place in the Hurley Building's lobby, and Charles Fayette Taylor's suspended sculpture *Upward Bound* remains at the New Chardon Street portico. The building's street frontage holds few entry points as Shepley, Bulfinch, Richardson & Abbot's design placed entrances within the courtyard in accordance with Rudolph's plan. The Hurley Building suffers from poor climate control, obsolete HVAC systems, and large expanses of un-insulated glazing which contribute to heat gain and heat loss.

A sunken garage, portions of which date to the construction of the Edward W. Brooke Courthouse, remains an incomplete version of Rudolph's vision. Nonetheless, nearly continuous light wells, bush hammered concrete surfaces, and interior walkways and ramps of the original construction remain. A courtyard plaza, bowl-shaped in design, offers a secluded space with dramatic views of the stepped interior facades of the complex but remains inactive and underused.

The most significant loss of integrity for the site is the incomplete realization of the overall design concept, namely, the absence of Rudolph's tower which was to be the centerpiece of the site. All design aspects of the BGSC, including circulation and landscape elements, were designed to relate to the tower; its absence fundamentally compromises the complex both visually and functionally. The absence of the tower particularly impacts the Hurley Building, which has no visible entrances or views to the central plaza from the south. Rudolph envisioned the tower as a visual marker for entry points at the site interior. The Hurley also conceals the courtyard from views along main thoroughfares, contributing to underutilization of the site interior. Photographs of the existing conditions of the Hurley Building are included as Appendix B.

Historic Resources in the Vicinity

A review of the State and National Register of Historic Places-listed and eligible properties as well as properties included in the Inventory concluded that a number of State and National Register listed properties are located within a quarter-mile radius of the Site, which may be expected in a dense urban environment.

Table 1 provides a listing of the State and National Register listed properties and districts located within a quarter-mile radius of the Site. The locations of the properties are identified in Figure 3.

Archaeological Resources

A review of the MACRIS archaeological base maps on November 27, 2019 revealed no known archaeological sites located at the Site. The Site consists of previously disturbed land. Due to previous ground disturbance activities and other improvements, including the construction of the existing building on the Site and other activities, it is unlikely that the Project Site contains significant archaeological resources.

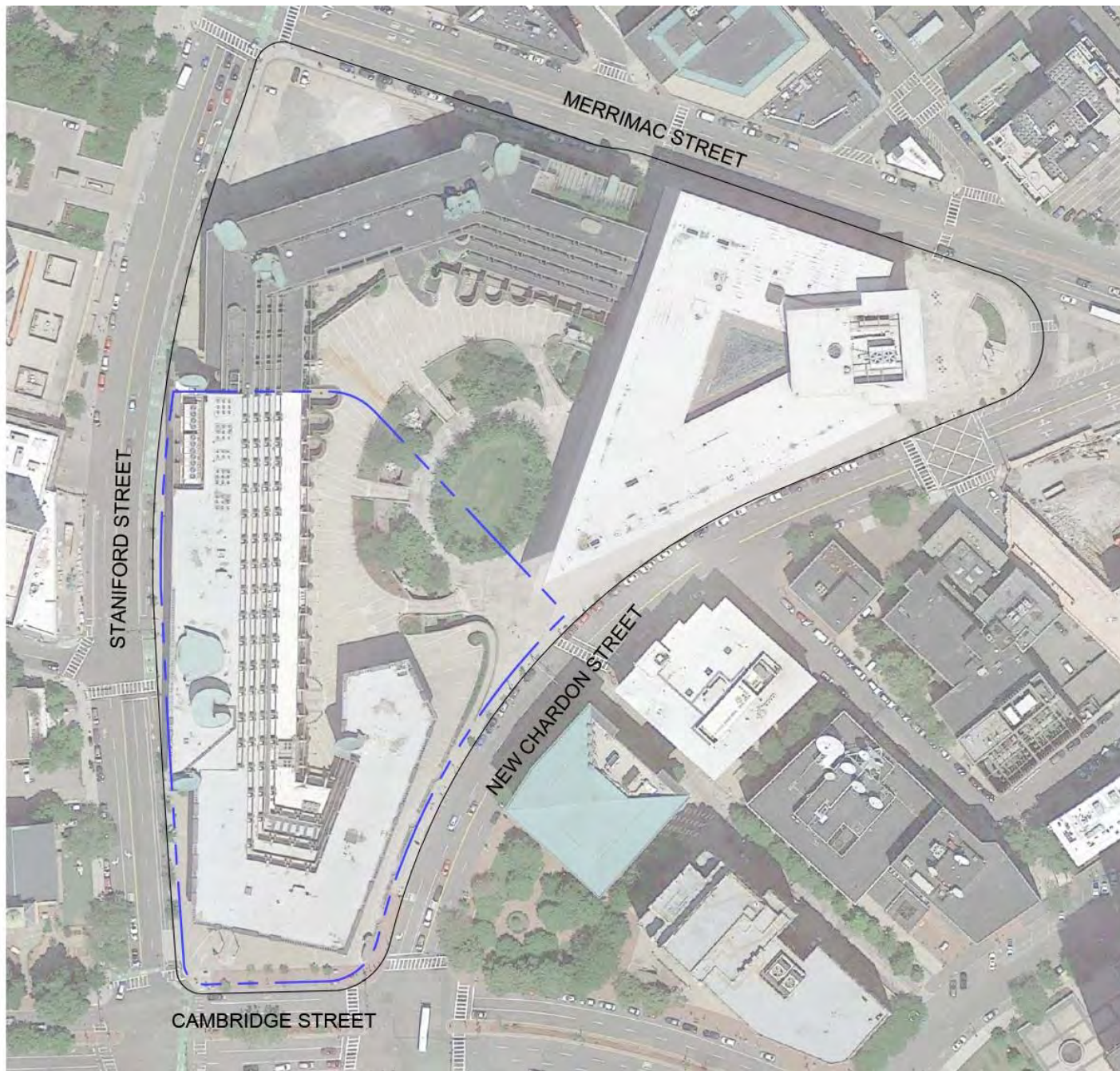
Table 1 **Historic Resources**

Map No	Historic Resource	Address	Designation
A	Bulfinch Triangle Historic District	Roughly bound by Canal Street, New Chardon Street, Merrimack Street and Causeway Street	NRDIS
B	Park Street District	Roughly bound by Park Street, Beacon Street, and Tremont Street	NRDIS
C	Sear's Crescent and Sear's Block	38-68 Cornhill Street and 70-72 Cornhill Street	NRIND
D	Boston Common and Public Garden	Bound by Boylston Street, Tremont Street, Park Street, Beacon Street and Arlington Street	LL, NHL, NRDIS
E	Beacon Hill Historic District	Roughly bound by Cambridge Street, Bowdoin Street, Beacon Street and Embankment Road	LHD
F	Beacon Hill Historic District	Roughly bound by Cambridge Street, Bowdoin Street, Beacon Street and Embankment Road	NHL, NRDIS
G	Granary Burying Ground	83-115 Tremont Street	LHD, NRDIS, PR
1	Boston Athenaeum	10 ½ Beacon Street	LHD, NHL, NRDIS, NRIND, PR
2	Congregational House	12-14A Beacon Street	LHD, NRDIS, PR
3	Chester Harding House	16 Beacon Street	LHD, NHL, NRDIS, NRIND
4	Claflin Building	18-20 Beacon Street	LHD, NRDIS, PR
5	Boston Transit Commission Building	15 Beacon Street	NRIND
6	Sears' Block	70-72 Cornhill Street	NRIND
7	John Adams Courthouse	1 Pemberton Square	NRIND
8	Catherine E. Tarbell Building	85 Merrimack Street	NRDIS, NRIND
9	Saint John the Evangelist Mission Church	35 Bowdoin Street	LHD, NHL, NRDIS, PR
10	African Meeting House	8 Smith Court	LHD, NHL, NRDIS, NRIND, PR
11	Peter Faneuil School	30 South Russell Street	LHD, NHL, NRDIS, NRIND
12	Boston Police Station #3	74 Joy Street	LHD, NHL, NRDIS, PR
13	Massachusetts State House	Beacon Street	LHD, MAHL, NHL, NRIND

14	William C. Nell Residence	3 Smith Court	LHD, NHL, NRDIS, NRIND
15	Charles Sumner House	20 Hancock Street	LHD, NHL, NRDIS, NRIND
16	Old West Church	131 Cambridge Street	NHL, NRDIS, NRIND, PR
17	First Harrison Gray Otis House	141 Cambridge Street	MAHL, NHL, NRDIS, NRIND, PR
18	Massachusetts General Hospital – Bulfinch Building	Fruit Street	NHL, NRIND
19	Senate Reception Room	Beacon Street	LHD, MAHL, NHL, NRIND, PR
20	Massachusetts General Hospital – Ether Dome	Fruit Street	NHL, NRIND
21	Temple Street Park	44-46 Temple Street	LHD, NHL, NRDIS, PR
22	Vilna Shul	14-16 Philips Street	LHD, NHL, NRDIS, PR
23	Jonathan Mason - Charles Harvey Parker House	55 Mount Vernon Street	LHD, NHL, NRDIS, PR
24	Charles Roberts House/ Saint John the Evangelist Mission Church Rectory	33 Bowdoin Street	LHD, NHL, NRDIS, PR
25	Samuel H. Remick – E. Samands House	24 Garden Street	LHD, NHL, NRDIS, PR
26	William H. Horton House	30 Hancock Street	LHD, NHL, NRDIS, PR
27	Dr. Calvin G. Page Double House	78-80 Myrtle Street	LHD, NHL, NRDIS, PR
28	Amos A. Lawrence House	1 Rollins Place	LHD, NHL, NRDIS, PR
29	William and Samuel K. Buss House	3 Rollins Place	LHD, NHL, NRDIS, PR
Designation Legend:			
LHD	Local Historic District Property		
LL	Local Landmark		
MAHL	Massachusetts Historic Landmark		
NHL	National Historic Landmark		
NRDIS	National Register Historic District		
NRIND	National Register Individual Property		
PR	Preservation Restriction		



19 Staniford Street Boston, Massachusetts



Charles F. Hurley Building

Boston, MA



Attachment A:
Boston Government Services Center: Lindemann-Hurley Preservation Report

Attachment B: Existing Conditions Photographs





1. Hurley Building, west elevation, view northeast



2. Hurley Building, west elevation (left) and south elevation (right), view northeast



3. Hurley Building, south elevation, view east



4. Hurley Building, west elevation detail, view east



5. Hurley Building, west elevation, lobby entrance from Stanford Street



6. Hurley Building, west elevation detail, view east



7. Hurley Building, west elevation, view northeast



8. Hurley Building, east elevation, view southwest



9. Hurley Building, east elevation detail, modern safety railing, view northwest



10. Hurley Building east elevation, view southwest



11. Interior courtyard, Hurley Building, view northwest



12. Interior courtyard, Hurley Building (left) and Lindemann Center (extreme right),
view northwest



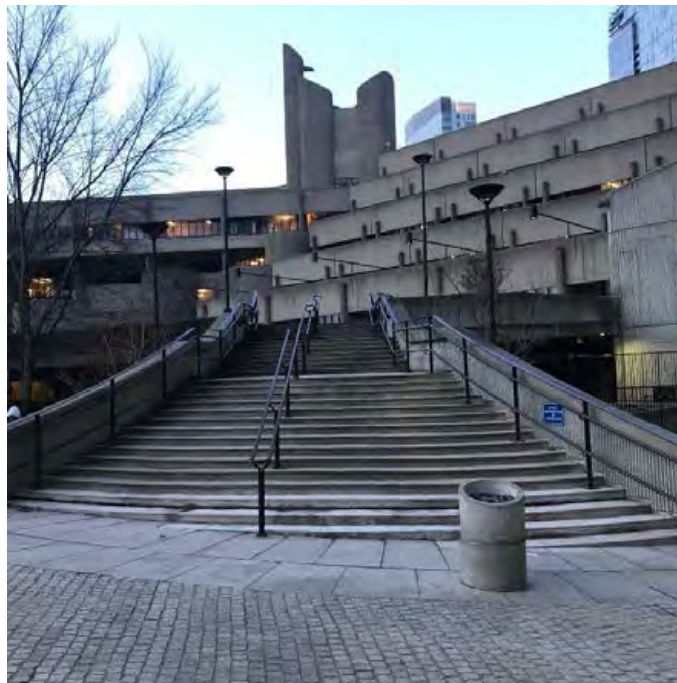
13. Hurley Building, interior courtyard entrance, view west



14. Hurley Building, interior courtyard entrance, view southwest



15. Hurley Building, interior courtyard, view northwest



16. Interior courtyard stair and Lindemann Center. view northwest



17. Interior courtyard, Hurley Building, view southwest



18. Interior courtyard, Hurley Building, view southwest



19. Interior courtyard, view west of party wall and passage between Hurley Building (left) and Lindemann Center (right)



20. Interior courtyard, Hurley Building, view south



21. Interior courtyard, view north toward Lindemann Center and pedestrian passage between Lindemann Center and Brooke Courthouse



22. Recessed enclosure, Lindemann Center, view southeast



23. North (left) and northwest (right) elevations of Lindemann Center, view southeast



24. Northwest elevation of the Lindemann Center, view southeast



25. Typical office space in Hurley Building



26. Constantino Nivola's *Graffito Murals* in Hurley Building Lobby



The Commonwealth of Massachusetts

William Francis Galvin, Secretary of the Commonwealth
Massachusetts Historical Commission

February 25, 2020

Carol Meeker
Deputy General Counsel
Division of Capital Asset Management and Maintenance
One Ashburton Place, 15th Floor
Boston, MA 02108

RE: Long Term Ground Lease of Hurley Building, Government Service Center Complex,
19 Staniford Street, Boston (Downtown), MA; MHC# RC.56843

Dear Ms. Meeker:

The Massachusetts Historical Commission (MHC) is in receipt of a Project Notification Form (PNF) filed by Epsilon Associates on behalf of the Division of Capital Asset Management and Maintenance (DCAMM) for the Long Term Ground Lease of the Hurley Building, received at this office on January 27, 2020. The staff of the MHC have reviewed the information submitted and have the following comments.

DCAMM proposes to solicit redevelopment proposals and subsequently enter into a long-term ground lease for the redevelopment of a parcel of land at the Boston Government Service Center. The ground lease parcel includes approximately 3.25 acres of land containing the Charles F. Hurley Building at 19 Staniford Street. As proposed, the entire Hurley Building site will be ground-leased to a redevelopment partner who will lead the planning, permitting, financing, and construction for the site.

It has been MHC staff opinion for many years that the Boston Government Service Center, including the Lindemann Center, Hurley Building, and site features, meets the criteria of eligibility for listing in the State and National Registers of Historic Places under criteria C at the local, state, and national levels of significance for its extra ordinary Modern Architecture and its association with master architect Paul Rudolph.

Highly respected architect Paul Rudolph was appointed the coordinating architect for the entire site, creating a single master plan and produced design guidelines for all three buildings along with public spaces. Rudolph designed the Garage Plaza and landscaping and also oversaw the design of the buildings. When the original architects for the HEW tower were dismissed, Rudolph then redesigned the tower. While the final tower component of the Government Service Center Complex was never realized, many important and significant features of the complex are retained today, including the Hurley Building, Lindemann Center, and associated site features.

The PNF outlines four site development alternatives for the Hurley Building site. The Preservation Report by Bruner/Cott Architects (January 2020), included as an Appendix to the PNF, provides additional information on these four site development alternatives. The report states, "These alternatives are not meant to be an exhaustive study of all of the ways that the site may be redeveloped but instead are meant as radically different scenarios that allow the testing of potential outcomes for a broad range of approaches." However, these four alternatives are quite prescriptive for demolition of the Hurley Building in whole or in part and do not explore other possible alternatives that would lead to substantial preservation of this historic building and site.

Specifically, the Site Development Alternatives do not consider (a) retention and rehabilitation of the Hurley Building, potentially leveraged by federal and/ or state historic rehabilitation tax credits, or (b) retention and rehabilitation of the Hurley Building with new construction.

The MHC requests a copy of the draft Request for Proposal (RFP) for review and comment. MHC requests that the RFP include additional options: (1) retention and rehabilitation of the Hurley Building; and (2) retention and rehabilitation of the Hurley Building with new construction, which should precede the options listed within the PNF (Options A – D) in importance. The RFP should promote retention of the Hurley Building and should consider impacts to the entire Government Services Center site.

The MHC recognizes the challenges of retrofitting aging buildings to meet current standards and code. Thousands of buildings in the Commonwealth have managed to accommodate modern services while retaining vast amounts of architecturally significant spaces and materials, proving that rehabilitation of historic buildings is a viable option.

The MHC also recognizes pedestrian challenges to the site. Different access points and passageway openings could be developed to promote cross site access and inviting public spaces.

After review of our files and the information submitted, MHC has determined that the proposed project will have an "adverse effect" ((950 CMR 71.05(a)), (950 CMR 71.05(e)), and (950 CMR 71.07(2)(b)(3))) on the Government Service Center through transfer or sale of the historic property without adequate conditions or restrictions regarding preservation, maintenance or use of the property; and the destruction of the Hurley Building.

Pursuant to 950 CMR 71.07(3), the MHC looks forward to consulting with Massachusetts Division of Capital Asset Management and Maintenance (DCAMM) to seek ways to avoid, minimize, or mitigate the adverse effect of the proposed demolition. The MHC hereby initiates its consultation process.

The demolition of a significant historic property that is included in MHC's Inventory triggers the filing of an Environmental Notification Form (ENF). If demolition of an inventoried historic property is the only anticipated ENF threshold, the proponent may consult with the MHC and change the project to result in a "no adverse effect" determination, or, as a result of consultation, seek to enter into a Memorandum of Agreement with the MHC in lieu of filing an ENF (301 CMR 11.03(10)).

The MHC is concerned with the long term planning for the Government Service Center Complex. MHC staff participated in the life safety improvement projects at the Government Service Center, which took much time, effort, and state funds to implement. It is disheartening to have completed the project only to have DCAMM consider demolition of the architecturally significant features that the life safety improvement project took great care to preserve. The MHC is also concerned with the conditions of the Lindemann Center. The Preservation Report by Bruner/Cott Architects submitted with this PNF highlights the deteriorated concrete surfaces on the grand external stair and throughout the Merrimac Street plaza.

These comments are offered to assist in compliance with M.G.L. Chapter 9, sections 26-27C (950 CMR 71.00) and MEPA (301 CMR 11). Please do not hesitate to contact Elizabeth Sherva of my staff if you have any questions.

Sincerely,



Brana Simon
State Historic Preservation Officer
Executive Director
Massachusetts Historical Commission

xc: Doug Kelleher, Epsilon Associates, Inc.
Rosanne Foley, BLC
Gary Wolf, DOCOMOMO/US_NE
Greg Galer, BPA
Kelvin Dickinson, Paul Rudolph Heritage Foundation
Mark Pasnik, OverUnder



The Commonwealth of Massachusetts
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CHARLES D. BAKER
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KARYN E. POLITO
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MICHAEL J. HEFFERNAN
SECRETARY
ADMINISTRATION & FINANCE
CAROL W. GLADSTONE
COMMISSIONER

Brona Simon
Executive Director
Massachusetts Historical Commission
220 Morrissey Boulevard
Boston MA 02125

April 15, 2020

Dear Ms. Simon-

I write in response to your letter dated February 25, 2020, regarding the redevelopment of the Hurley Building at 19 Staniford Street in Boston.

This site is a unique asset in the Commonwealth's portfolio of office properties. It is located within a five-minute walk of key government functions at the State House and McCormack State Office Building. It is at a critical juncture in its capital renewal cycle and is underbuilt vis a vis both the original plans for the site, and contemporary best practices for development in the urban core. It also presents unique challenges – notably its unwelcoming frontages along three different City streets that provide very few access points (an issue that would be difficult to address without major alteration given the site's steep slope) and comprise an impenetrable superblock that was originally intended to be accessed only from a central courtyard, further compounding circulation problems. The Hurley Building will also at minimum require significant modification in order to function as an effective work environment for agencies and employees.

Our approach to redeveloping the Hurley Building seeks to capitalize on the site's key opportunities while addressing its biggest challenges. The Commonwealth plans to *increase* the presence of state office workers on the site, while introducing private capital to offset our ongoing costs of occupancy. This increase in utilization – and of state employees in particular – is very much in keeping with the original concept for the Boston Government Service Center (BGSC) as imagined in the Government Center Master Plan by I.M. Pei and Henry Cobb. The ultimate design as overseen by Ed Logue, Paul Rudolph, and others, would have created a concentration of state office workers in a vibrant, publicly accessible Downtown location. As you know, this original plan was significantly compromised by the fact that the third building planned for the BGSC was never built. The incomplete result both diminished the critical density planned for this site and inhibited the full potential of this complex to serve as a nexus for State Government.

Our strategy for the site also recognizes that, at an FAR of 2.0, the Hurley Building is quite underbuilt for Downtown, in contrast both to the original intent for the site and to the State's and City's goals of fostering Transit-Oriented Development (TOD). TOD not only encourages greater vitality and street-level activation than can be achieved within the current configuration of the Hurley site, but also helps mitigate congestion and related greenhouse gas emissions.

The site needs to contain more building square footage for our project to be feasible.

The Commonwealth's plans for the site will require adding square footage beyond the confines of the existing, 327,000 SF Hurley Office Building. Therefore, the first Site Development Alternative that you request in your letter ("retention and rehabilitation of the Hurley Building, potentially leveraged by federal and/or state tax credits" and without any "new construction") – would not be a "feasible and prudent" alternative for this project. This option would not, fundamentally, allow us to achieve our project goals of 1) consolidating state office workers downtown within key Government Center buildings under long-term control (i.e. owned or long-term leased), and 2) introducing private capital to the site in order to offset the Commonwealth's ongoing costs of occupancy. Each of these goals is further explained below.

1. Consolidating Downtown Office Workers Within Key Government Center Assets

Nearly 11,000 Commonwealth employees work in Downtown Boston. Of these, approximately half work in space leased on a short-term basis (typically 10 years)¹. Increasing the amount of space under long-term control will be more cost-effective in the long run, as it will reduce the Commonwealth's exposure to a volatile, expensive lease market in which large blocks of office space offered at reasonable prices are quite rare.

A key component in this consolidation plan is roughly doubling (or more) the number of office workers that could be accommodated at the Hurley Building site, to over 2,000 employees. This could not be done without adding to the 327,000 GSF of the existing building, which currently contains roughly 1,100 seats².

2. Introducing Private Capital to Offset Ongoing Costs of Occupancy

In order to create this space in a cost-effective way we will partner with a private redevelopment partner, who will pursue private uses on the site in addition to building the office space for long-term Commonwealth occupancy. The rights to build new improvements for private use on any site this large in Downtown Boston are quite valuable. The Commonwealth will realize that value in below-market annual costs (i.e. lease rates), maximizing benefit to taxpayers and the public at large. This strategy also updates the original single-use urban design paradigm for the site, enabling an appropriately rich mix of public and commercial uses that will improve the long-term vitality and viability of the site.

Therefore, in addition to the new square footage that will be required on the site for Commonwealth occupancy, more new development will be required to accommodate the introduction of private uses. This also cannot not be done without adding to the 327,000 GSF of the existing building.

¹ Please refer to the attached map for more detail about the Commonwealth's portfolio of owned and leased offices in Downtown Boston.

² Although 1,100 seats are available, approximately 750 employees currently work in the building.

Our RFP will not provide developers with a pre-determined list of Development Alternatives to choose from.

I want to respond to one other request in your letter: that DCAMM provide MHC a draft copy of the RFP for review and comment, and that we "include additional options" in the RFP (beyond options A-D examined in the Preservation Report written by Bruner / Cott). We will, of course, be happy to provide a copy of the RFP to MHC for review and comment prior to issuance, as is our common practice. We will also analyze the second Alternative that you requested in your letter ("retention and rehabilitation of the Hurley Building with new construction"), to better understand its implications for preservation and redevelopment.

However, I want to clarify that it is *not* our intent to prescribe any particular approaches to demolition or retention to RFP respondents. Rather, we intend to invite proposals that strive to preserve all or key portions of the Hurley Building (identified in the Preservation Report) through creative, adaptive reuse, while also introducing new development to the site in a way that is sensitive to historical context and to the surrounding built environment. We do not intend to provide respondents a menu of Alternatives to choose from, because experience has shown that a creative development team working within the constraints of our RFP will, in all likelihood, come up with alternatives we could not foresee now.

In addition to evaluating proposals on the quality, quantity, and price of space for Commonwealth occupancy, we will also evaluate them for design excellence, responsiveness to our guidance in the RFP regarding preservation and adaptive reuse, and other qualitative criteria. Formulating these evaluation criteria is a critical element of the public outreach we are conducting and will continue to conduct in the coming months, including our consultation with you and your staff.

DCAMM looks forward to in-person consultation with MHC as conditions permit. In the meantime, Senior Project Manager Abi Vladeck has offered to conduct a virtual tour the Hurley Building and other BGSC features of interest if that would be useful in moving the consultation process forward. Abi can be reached at abigail.s.vladeck@mass.gov / 857-343-0083.

Sincerely,

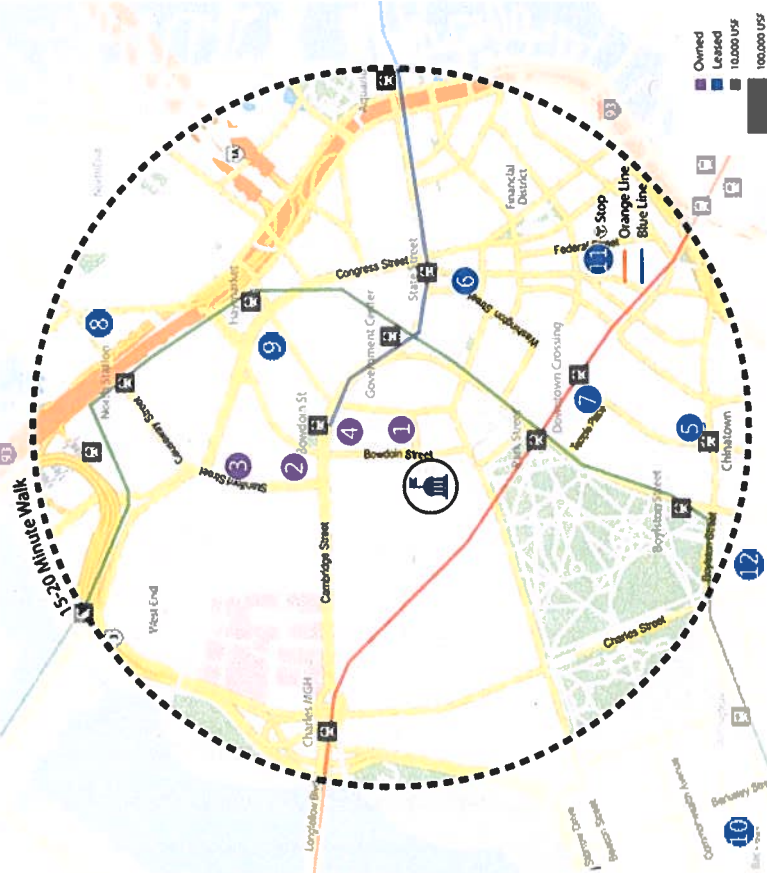


Carol Gladstone
Commissioner

CC by email: Rosanne Foley, Boston Landmarks Commission
Greg Galer, Boston Preservation Alliance
Gary Wolf, DOCOMOMO New England
Kelvin Dickinson, Paul Rudolph Heritage Foundation
Mark Pasnik, OverUnder

Downtown Boston Core

5-20min walk from State House



2.62 Million USF

Boston Core

10,930 Occupants

1.07 Million USF
Owned/Long-term leases

4,429 Occupants

0.95 Million USF
Short-term Leases

5,259 Occupants

0.60 Million USF

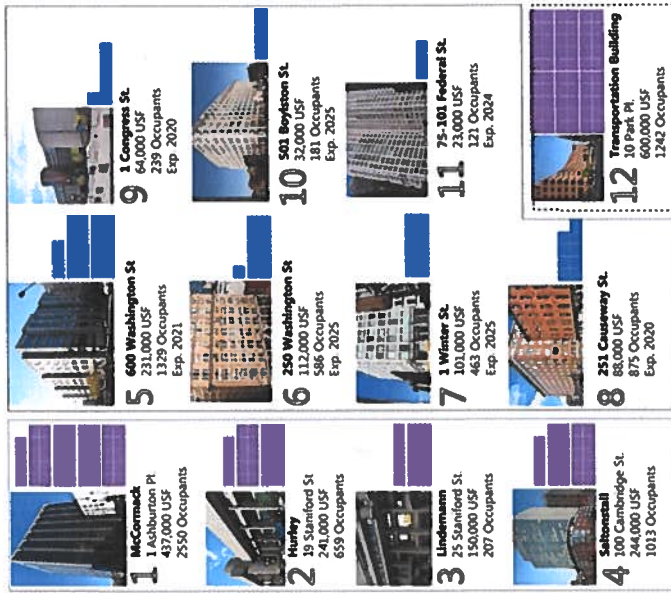
Transportation Building

1,242 Occupants

Portfolio Overview

1,072,000 USF Owned/long-term leases
600,000 USF Transportation Building
301,000 USF Primary short-term leases

Owned/long-term leases





The Commonwealth of Massachusetts

William Francis Galvin, Secretary of the Commonwealth
Massachusetts Historical Commission

May 20, 2020

Carol Gladstone
Commissioner
Division of Capital Asset Management and Maintenance
One Ashburton Place, 15th Floor
Boston, MA 02108

RE: Long Term Ground Lease of Hurley Building, Government Service Center Complex,
19 Staniford Street, Boston (Downtown), MA; MHC# RC.56843

Dear Commissioner Gladstone:

The Massachusetts Historical Commission (MHC) is in receipt of your letter dated April 15, 2020 regarding the Long Term Ground Lease of the Hurley Building, received at this office on April 21, 2020. The staff of the MHC have reviewed the information submitted and have the following comments.

DCAMM proposes to solicit redevelopment proposals and subsequently enter into a long-term ground lease for the redevelopment of a parcel of land at the Boston Government Service Center. The ground lease parcel includes approximately 3.25 acres of land containing the Charles F. Hurley Building at 19 Staniford Street. As proposed, the entire Hurley Building site will be ground-leased to a redevelopment partner who will lead the planning, permitting, financing, and construction for the site.

The MHC understands from your letter and the initial project submission that the goal of this Long Term Ground Lease and associated development project is to increase the square footage of office space for state employees on this parcel.

MHC continues to requests that the RFP include additional options: (1) retention and rehabilitation of the Hurley Building; and (2) retention and rehabilitation of the Hurley Building with new construction, which should precede the options listed in the PNF (Options A – D) in importance.

The RFP should promote retention of the Hurley Building and should consider impacts to the entire Government Services Center site. This entire site is nationally significant for its Modern Architecture and its association with master architect Paul Rudolph.

The RFP should not only give priority to increased square footage, but should also give priority to preservation, promotion of this important building within the context of downtown Boston, and how any new design would harmonize with it and the other portions of the historic complex.

The MHC looks forward to reviewing and commenting on the draft Request for Proposal (RFP).

It has been MHC staff opinion for many years that the Boston Government Service Center, including the Lindemann Center, Hurley Building, and site features, meets the criteria of eligibility for listing in the State and National Registers of Historic Places under criteria C at the local, state, and national levels of significance for its extra ordinary Modern Architecture and its association with master architect Paul Rudolph. Many of the important and significant features of the complex are retained today, including the Hurley Building, Lindemann Center, and associated site features.

These comments are offered to assist in compliance with M.G.L. Chapter 9, sections 26-27C (950 CMR 71.00) and MEPA (301 CMR 11). Please do not hesitate to contact Elizabeth Sherva of my staff if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Brona Simon".

Brona Simon
State Historic Preservation Officer
Executive Director
Massachusetts Historical Commission

xc: Abi Vladeck, DCAMM
 Carol Meeker, DCAMM
 Doug Kelleher, Epsilon Associates, Inc.
 Rosanne Foley, BLC
 Gary Wolf, DOCOMOMO/US_NE
 Greg Galer, BPA
 Kelvin Dickinson, Paul Rudolph Heritage Foundation
 Mark Pasnik, OverUnder



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CAROL W. GLADSTONE
COMMISSIONER

Brona Simon
Executive Director, Massachusetts Historical Commission
220 Morrissey Boulevard
Boston MA 02125

November 10, 2020

Dear Ms. Simon:

I am pleased to share with you the enclosed *draft* design guidelines for the redevelopment of the Charles F. Hurley Building in Downtown Boston – part of the 5.25-acre Government Service Center that we recognize is eligible for listing in the State and National Registers of Historic Places.

As you know, for the past few years, DCAMM has been planning a redevelopment of the Hurley Building in an effort to cost effectively renew the building, consolidate state employees currently spread throughout leases in Downtown Boston into Commonwealth-owned space, and transform the site from an imposing super-block into a pedestrian-friendly part of a vibrant neighborhood.

The enclosed guidelines express our expectations for how the site can and should evolve while respecting its cultural heritage. The final version of these guidelines will be included in our RFP for a redevelopment partner, and respondents to the RFP will be evaluated, in part, on how well their planned redevelopment of the site shows consistency with these guidelines.

The guidelines were developed with input from an informal group of advisors that met with us throughout the summer to help ensure that we move forward in a way that respects this site as a significant cultural resource, while also allowing us to achieve other critical goals such as improvements to the public realm, improved energy efficiency, and office space for Commonwealth employees that meets contemporary workplace standards. Among others, the group included preservation advocates, practitioners, and neighborhood interests. While the

group did not formally vote on the recommendations – and was not even asked to come to consensus– their input greatly helped advance our thinking about this site.

In particular, I want to call your attention to two shifts that DCAMM is making with this document:

1. We will require our development partner to address public realm issues across the entire BGSC site (including Merrimac Plaza, in front of the Lindemann Building), not just within the redevelopment site itself.
2. There is a new emphasis in these guidelines on adaptive reuse as a way to respect the cultural heritage of the site, while reinterpreting it for a modern era. We are no longer contemplating approaches that entail complete demolition of the Hurley Building.

Over the next 2-3 months, we will be soliciting input from stakeholders and the general public on these design guidelines. I will make sure that you and your staff receive notices about all these efforts. In addition, we would also welcome the opportunity to brief you and your staff via a virtual meeting.

You will see these guidelines in their final version when we share with you a draft of our RFP, which we expect will be early in 2021. We also expect to share proposals with you for review and comment. In the meantime, we welcome your input on this draft document.

Sincerely,



Abi Vladeck
Senior Project Manager, Real Estate

CC by email: Rosanne Foley, Boston Landmarks Commission
Greg Galer, Boston Preservation Alliance
Gary Wolf, DOCOMOMO New England
Kelvin Dickinson, Paul Rudolph Heritage Foundation
Mark Pasnik, OverUnder



The Commonwealth of Massachusetts
William Francis Galvin, Secretary of the Commonwealth
Massachusetts Historical Commission

December 16, 2020

Abi Vladeck
Senior Project Manager, Real Estate
Division of Capital Asset Management and Maintenance
One Ashburton Place, 15th Floor
Boston, MA 02108

RE: Long Term Ground Lease of Hurley Building, Government Service Center Complex,
19 Staniford Street, Boston (Downtown), MA; MHC# RC.56843

Dear Ms. Vladeck:

Thank you for submitting a copy of the draft design guidelines for the redevelopment of the Charles F. Hurley Building, received at this office on November 18, 2020. The staff of the Massachusetts Historical Commission (MHC) have reviewed the draft design guidelines and find them responsive to MHC's May 20, 2020 letter. MHC staff are encouraged that the design guidelines promote preservation and adaptive reuse/rehabilitation rather than outright demolition of the historic Hurley Building.

The MHC looks forward to reviewing and commenting on the draft Request for Proposal (RFP). Specifically, MHC staff is interested in reviewing and commenting on the proposal evaluation criteria and how preservation and adaptive reuse will be prioritized/weighted/ranked in the evaluation of proposals.

These comments are offered to assist in compliance with M.G.L. Chapter 9, sections 26-27C (950 CMR 71.00) and MEPA (301 CMR 11). Please do not hesitate to contact Elizabeth Sherva of my staff if you have any questions.

Sincerely,

A handwritten signature in cursive script, appearing to read "Brona Simon".

Brona Simon
State Historic Preservation Officer
Executive Director
Massachusetts Historical Commission

xc: Commissioner Carol Gladstone, DCAMM
Carol Meeker, DCAMM
Rosanne Foley, BLC
Gary Wolf, DOCOMOMO/US_NE
Greg Galer, BPA
Kelvin Dickinson, Paul Rudolph Heritage Foundation
Mark Pasnik, OverUnder
Doug Kelleher, Epsilon Associates, Inc.

BOSTON PRESERVATION ALLIANCE

February 21, 2020

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Executive Director

Gregory J. Galer, Ph.D.

Brona Simon, Executive Director
Massachusetts Historical Commission
220 Morrissey Boulevard
Boston MA 02125

Re: Charles F. Hurley Building PNF

Dear Ms. Simon:

The Boston Preservation Alliance is Boston's primary, non-profit advocacy organization that protects and promotes the use of historic buildings and landscapes in all of the city's neighborhoods. With 40 Organizational Members, 142 Corporate Members, and a reach of 35,000 friends and supporters we represent a diverse constituency advocating for the thoughtful evolution of the city and celebration of its unique character.

I write today in regard to the January 24, 2020 Project Notification filing by the Mass. Division of Department of Capital Asset Management Maintenance (DCAMM) regarding the Charles F. Hurley Building within the Boston Government Services Center (BGSC). The history, significance, and condition of this National Register eligible mid-century complex is well represented in the filing, although we differ with some of the conclusions of the filing, which I will detail below. As noted in the PNF as well its appendix material including the MHC Survey Form and the "fiche" documentation from the modernist preservation organization DOCOMOMO, the architectural significance of the BGSC is well established. We appreciate DCAMM's recognition of such in this filing as well as in our previous engagement with DCAMM (and MHC and the Boston Landmarks Commission) on safety upgrades to the Hurley Building completed last year. Through that lengthy process we built a positive, collaborative relationship that we hope will continue in this much larger project. With that goal we were pleased to join other preservation leaders in a presentation, conversation, and site tour before this PNF was filed.

The Alliance agrees with a variety of basic assumptions and establishing descriptions within the PNF. However we disagree with the disparate weight the report places on the significance of the Lindemann Mental Health Center building while diminishing the importance of the of the Hurley Building itself as an integral component of Rudolph's master plan and his principles for the entirety of the BGSC. The full extent of Rudolph's role in the Hurley Building's development appears to be somewhat in dispute, with the Rudolph Foundation claiming evidence of a more active role than that outlined in the PNF. Regardless, undisputed is the fact that the entire complex is a reflection of Rudolph's master plan vision and guidelines, well-described in the

The Otis House
141 Cambridge Street
Boston, MA 02114
617.367.2458

bostonpreservation.org

filing. The narrative builds a case for significant adverse impacts to Hurley from the outset, minimizing its significance and focusing on the building's flaws and the negative impact on the entire composition from the lack of construction of Rudolph's tower. The report recommendations read as a pre-determined conclusion from the outset.

Furthermore, it's disappointing that the filing, while placing praise upon the significance of the Lindemann as "the site's primary historic resource" and that "the Lindemann Center's character-defining features are largely intact," the PNF largely uses Lindemann as a foil to justify demolition of portions, or all of, the Hurley. Yet the PNF nowhere matches the admitted importance of Lindemann with any sort of commitment to restoration, repair or in any other way undoing the damage done to this remarkable piece of architecture through disinvestment by the Commonwealth. Although the report honestly acknowledges that state of disrepair, e.g. deterioration of concrete, changes to circulation patterns, a plaza "deteriorated nearly beyond recognition" and that cars park "without regard for adjacent architecture or interior uses." The report notes this to be "the most significant and powerful remaining expression of Rudolph's design intent" yet nowhere do we see commitment to remedy the situation.

While all the options presented spare the Lindemann itself from the partial or complete demolition of Hurley, several would alter character-defining features such as the monumental stair landing. Whatever sort of redevelopment proposal moves forward to facilitate reinvestment in this complex, we would insist that restoration of the Hurley and adjustments to use (such as removal of the parking on the plaza on Merrimac Street) be necessary requirements of mitigation.

Some aspects of the Design Guidelines outlined in page 43 of the Preservation Report (Attachment A) present a good starting point for discussion of any future use and potential alterations to the BGSC. The commitment to follow *the Secretary of the Interior's Standards for Rehabilitation* (#1) and to keeping with Rudolph's original design intent (#3), for example, represent thoughtful preservation practice. The reference to the Constantino Nivola murals (#14) is an important gesture, although an insufficient commitment to maintain this artwork on site. Past experiences have demonstrated that once large artworks such as this are removed from their original site, relocation and any return to public display is highly unlikely, despite all the best intentions. A commitment to continued public display of these murals, preferably in their current location is needed.

While other elements of the Guidelines represent appropriate ways to frame the fact that modifications and changes to Brutalist buildings such as these are necessary, the assumptions of drastic changes and loss ("significant demolition," "radically reconfigured," "removal of sections of Hurley," etc.) are premature.

We certainly recognize that buildings such as these have their flaws and that changes are in order. However, issues such as poor climate control, inefficient glazing, minor spalling, and some level of concrete degradation are all addressable (as has been demonstrated by other sites of this vintage with great success.) These are issues that individually or in aggregate are insufficient to justify significant or wholesale demolition. Alternatives to the rather dramatic options presented are omitted from the analysis. None presented explore a more full commitment to the entirety of Hurley, even with potential significant changes. None explore a change in use that may be more suitable to the existing building, such as conversion of Hurley to a residential program in consort with new construction somewhere on site to generate additional usable FAR and revenue required by DCAMM.

As near-neighbors to the BGSC we regularly engage with the building and have been pleased with the positive change in building use since fall protection and other life safety upgrades were made. Public use has visibly increased with this one intervention, a good example of what turning the tide of disinvestment could do for the entirety of the complex with more creative thinking that embraces a larger portion of the Hurley building.

While we would agree that the “most significant loss of integrity is the incomplete realization of Rudolph’s design” because the HEW tower was never built, we feel that dismissal of a more serious attempt at preservation and adaptation of the Hurley building without such significant adverse effects as proposed is a failure of the options presented. For example, the courtyard is criticized as underutilized yet it is also recognized as “establishing the sense of spatial enclosure Rudolph desired.” A quiet, enclosed space isolated from the noise and disruptions of traffic is rare in the city’s downtown core and should be embraced and cherished, and the focus should be on attracting people to it. While we would agree that the Hurley appears “uninviting and even inaccessible from the courtyard” we believe more restrained interventions could solve this and other problems highlighted. The growing public engagement and activity at Boston City Hall demonstrates the potential. Like the state, the city had long-neglected the building and plaza, but with a change of attitude and investment the new public interest has been remarkable and continues to benefit the community.

The Alliance embraces the DCAMM’s desire to remedy long-standing problems on this site and the opportunity to reimagine the site through modifications and sympathetic new construction. However, we refuse to reward disinvestment which has led to deterioration and exacerbation of that fundamental design challenge (and to a public perception that focuses on the challenges rather than the opportunity) by supporting demolition on site without additional justification. If we had been convinced by such arguments with Boston City Hall we very well could have lost that world-renowned building.

We look forward to continued collaborative work with DCAMM toward a more positive outcome at Hurley, embracing some change and evolution without the drastic options

proposed. Additional information is clearly in order to better understand why other alternatives may not be viable as well as how new construction and the existing building will interface in ways that enhance the function and public engagement with Rudolph's designs. We insist that any plans include robust investment in the repair and restoration of the Lindemann Mental Health Center.

Sincerely,



Greg Galer
Executive Director

Cc:

Carol Meeker, DCAMM
Abigail Vladeck, DCAMM
Rosanne Foley, Boston Landmarks Commission
Doug Kelleher, Epsilon
Drew Leff, Stantec
Henry Moss, Bruner/Cott
Gary Wolf, DOCOMOMO New England
Kelvin Dickinson, Paul Rudolph Heritage Foundation
Mark Pasnik, OverUnder, Wentworth Institute

February 19, 2020

Brona Simon, Executive Director
Massachusetts Historical Commission
220 Morrissey Boulevard
Boston MA 02125

Re: Project Notification Form: Charles F. Hurley Building, Long Term Ground Lease

Dear Ms. Simon:

On behalf of Docomomo/US_New England, an organization focused on our modernist heritage, I am writing to question the demolition-focused premise of the Project Notification Form submitted to the Massachusetts Historical Commission on behalf of your sister agency, the Division of Capital Asset Management and Maintenance (DCAMM). We hope that there will be an opportunity for public comment on this matter, and that MHC will request that DCAMM reconsider their approach to this historic complex.

Although valuing the architecture of the recent past remains a controversial and incomplete process today, it is notable that 29 years ago, in 1991, the Massachusetts Historical Commission determined that the Health, Welfare, and Education Service Center (of which the Charles F. Hurley Building is a part) was eligible for listing on the National Register of Historic Places, for significance on the national level and also for exception G as a property that had achieved significance within the last fifty years (at the time).

Given MHC's prescient determination of eligibility for the HWESC (called the Boston Government Services Center in the DCAMM report), and also in light of the recommendation of the Boston Landmarks Commission in September of 1990 for "individual listing on the National Register and designation (exterior and selection interior) as a Boston Landmark" [per typed note on the BLC's Building Information Form, BOS.1618], it is striking that DCAMM's PNF seeks approval to develop a Request for Proposals that presents four different options predicated on partial or total demolition for the development of the Hurley Building portion of the site, without an alternative option emphasizing preservation of the Hurley Building as an integral part of this National-Register-eligible and Boston-Landmarks-recommended complex.

While we appreciate the expertise, research and thought invested by respected colleagues in preparing the *Boston Government Services Center: Lindemann-Hurley Preservation Report*, our organization must encourage MHC to question the fundamental, demolition-oriented assumptions of this PNF. We would welcome the opportunity for public comment on the Report and the PNF.

Thank you for your consideration.

Sincerely,



Gary Wolf, FAIA, President
DOCOMOMO/US_NE

DOCOMOMO/US_New England

c/o Wolf Architects, Inc. 98 North Washington Street, Suite 304 Boston Massachusetts 02114

03/09/2020

Brona Simon, Executive Director
Massachusetts Historical Commission
220 Morrissey Boulevard
Boston, MA 02125

RE: Project Notification Form for proposed redevelopment of the Charles F. Hurley Building

Dear Ms. Simon:

The Paul Rudolph Heritage Foundation (PRHF) is a non-profit organization representing the Paul Rudolph estate, committed to preserving his architectural legacy for future generations and promoting the understanding of Rudolph's ideas about architecture and urbanism.

The most important part of our mission is advocating for the preservation and proper maintenance of buildings designed by Mr. Rudolph, since direct experience of his work is key to appreciating Mr. Rudolph's contributions to modern architecture.

I write in regard to MHC's February 25, 2020 letter in response to the January 24, 2020 Project Notification filing by the Massachusetts Division of Department of Capital Asset Management Maintenance (DCAMM), about the proposed redevelopment of the Charles F. Hurley Building within the Boston Government Service Center complex (BGSC).

The Paul Rudolph Heritage Foundation thanks the MHC for recognizing that DCAMM's project will have an "adverse effect" on the overall complex, and we want to offer additional objections to the current effort to redevelop the BGSC site through demolition.

Paul Rudolph and the design of the Boston Government Service Center

The BGSC is both an important part of Paul Rudolph's architectural legacy as well as "the most dramatic and architecturally ambitious of the modern office structures built as part of the Government Center Urban Renewal project," according to the Boston Landmarks Commission.

Despite the language in DCAMM's report and members of its team at public presentations, Paul Rudolph was directly involved and responsible for the design of the entire BGSC. As pointed out in MHC's letter to DCAMM, Rudolph was appointed the coordinating architect for the overall site and created a single master plan and design guidelines for all of the buildings in the complex. Rudolph's leading role in the project is covered in-depth in Tim Rohan's 2014 architectural monograph, *The Architecture of Paul Rudolph*.

Paul Rudolph's ideas regarding monumentality and urbanism led him to receive increasing civic commissions during the 1960's. As Rohan observed,

The Boston Government Service Center (1962-1971) ... elaborated on the signature monumental style that he had arrived at with the Yale Art & Architecture building. To critique what he considered the banality and incoherence of contemporary approaches to urban renewal and campus design, Rudolph imbued them with a scenographic quality fit for the set of an opera, with swirling staircases, colorful, multistory, balconied interior spaces recalling baroque architecture, and great plazas resembling amphitheaters inspired by the ideas of nineteenth-century city planner Camillo Sitte.

To result in a unified whole, given the diverse group of project architects involved, Rudolph created overall design criteria for the BGSC complex.

The most striking of these was the use of a common material and surface treatment for all of the buildings. According to Daniel Abramson's analysis of the BGSC, *Representing the Welfare State*, the building exterior and partial interior was covered in "gearworks" finish as it was referred to by the other architects – which was the same trademark finish Rudolph developed for his Yale Art & Architecture building, completed while the BGSC design had just begun.

To compose the rest of the project guidelines, Rudolph employed his criticisms of international style modernism and concern for scale, urbanism and monumentality (which he was exploring in smaller, yet similar projects such as the ENDO Pharmaceutical building in Garden City, NY).

The spatial archetypes employed by Rudolph in the BGSC design were featured in a 12-page cover story for the July 1973 issue of the *Architectural Record* by Carl Black, 'A Vision of Human Space.' The article was illustrated with sketches of the BGSC complex by Rudolph, along with as-built photographs and perspective renderings and was divided into sections with names such as "Sea and Shells," "Ebb and Flow," "The Spiral" and "The Cave." Originally intended to be a chapter in a book about architecture titled *Human Space: Conceptions and Constructions of Paul Rudolph*, Mildred Schmertz – a Senior Editor at *Architectural Record* – explained in her introduction, 'because Black's insights deepen one's comprehension of Rudolph's work and his interpretations seem so very fresh to us, we have decided to publish an excerpt.'

A 2009 Building Inventory Form submitted to the MHC by the Boston Landmarks Commission (BLC) states "Although Rudolph is officially listed as coordinating architect, the strength and consistency of the design of all of the parts suggest that Rudolph was the design force behind the entire project."

The design of the BGSC – as perceived by scholars today as well as when it was first built – is so interwoven with Rudolph's design aesthetic and critical analysis of modernism that to relegate his contribution to a single portion of the complex as suggested by DCAMM in its project notification form is absurd.

Acknowledgement of the significance of the Boston Government Service Center

Paul Rudolph's design for the BGSC received widespread recognition in the architectural press, with articles about it appearing in *Progressive Architecture* (US), *Architecture and Urbanism* and *Global Architecture* (Japan), *Architecture D'Aujourd'hui* (France), *Architectural Review* (England), *Architettura* and *Casabella* (Italy), and *Deutsche Bauzeitung* and *Werk* (Germany) – and some of these journals covered the project in multiple issues.

The February 1964 issue of *Progressive Architecture* featured several pages on the proposed design including a photo looking down into on a model of the complex – comparing its enclosed pedestrian plaza with photos of the Piazza del Campo and Piazza San Marco in Italy.

The BGSC also appeared in numerous books around the time the building opened. Even later, it continued to attract attention – the presentation model and drawings appearing in MoMA's 1979 exhibit, *Transformations in Modern Architecture* (and being prominently shown in the catalog).

In addition to being lauded in the architectural press, the BGSC was designated a Category Two Building (major significance) by the Boston Landmarks Commission. The Building Information Form completed by the BLC in September 1990 recommended the complex "for individual listing on National Register and designation (exterior and selected interior) as a Boston Landmark BOS.1618 (9/90)." The statement of significance included in the Boston Landmarks Commission determination report states,

The Health, Welfare & Education Service Center for the Commonwealth of Massachusetts at 115 Cambridge Street possesses integrity of location, design, setting, materials, workmanship, feeling and association, and both embodies distinctive characteristics of a type and represents a distinguished work of architecture.

The building was also recognized as architecturally significant in a report prepared by the preservation organization Docomomo in 2011. Their 40-page document notes,

Government Service Center is one of the masterpieces of Paul Rudolph's career. In its massive scale, and use of hammered concrete, it is often compared to the Yale Art and Architecture School in New Haven (1963).

The use of corduroy concrete, which Paul Rudolph invented, had a wide influence on architecture at the time, spurring many buildings to adopt the technique in the decoration of exterior surfaces.

In terms of urban planning, the complex is significant in its unified design of three buildings, and the intention to create public spaces around civic buildings. Furthermore, it is as an integral part of the massive Government Center Renewal Project of the 1960s which completely changed the character of 60-acres of downtown Boston in a matter of a few years, favoring Modern architecture, and adopting the latest urban planning principles of the time.

Incorporating the Lindemann Mental Health Center, a functioning inpatient facility for mental health patients, in a downtown civic complex is a noble statement about the culture that designed for such an arrangement, in favor of relegating the mentally ill population to the peripheries of the city, as is increasingly common.

While the complex is recognized for its architectural significance, it also is home to site specific public artwork that is equally distinguished.

Hanging under the portico at the end of the Hurley Building is a 30 by 17-foot brass sculpture by Charles Fayette Taylor (1894-1996) titled "Upward Bound." Originally an engineer noted for helping design the engine for the plane that carried Charles A. Lindbergh across the Atlantic, he turned to making art and sculpture upon retiring from MIT and his work is represented in several museums and public buildings throughout the United States.

According to a booklet published on the art installed at the *Hurley Building*, the upward-seeming movement of the sculpture is meant to symbolize the work of the building's employees, who assist people in growing through economic and work opportunities.

In addition, a pair of abstract sgraffito murals by noted Italian artist Constantino Nivola (1911-1988) are painted and etched directly into the walls of the public lobby of the Hurley building. As noted in a statement issued by the Nivola family,

More significant than the impressive scale of the two Hurley murals, is its elaborate narrative explicating the purposes of the Massachusetts State Division of Employment Security, housed in the building. Nivola was commissioned to make two facing murals for the lobby: one on the theme of "Unemployment Insurance" and the benefits it provided to families and society; the other on the theme of "Employment Service" and how skills training aids workers and the economy. The artwork is unique in depicting the functions and benefits of the American social service system, reflecting the ideal of government's capacity to address social ills. The murals not only capture a moment in Massachusetts history, but thanks to their aesthetic merits, have a strong and vitalizing effect on viewers.

This artwork must not be destroyed, and DCAMM's proposal to redevelop the BGSC site does not include what efforts, if any, the state plans to take to protect or relocate this public artwork.

The proposed redevelopment of the Boston Government Service Center

The PRHF reviewed DCAMM's project notification form (PNF) and attended presentations regarding the state's plan to redevelop part of the complex, and we have several objections to the proposal as well as concerns about how the process is being handled.

First, the PRHF disputes DCAMM's language that Rudolph's role in the overall project was minimal, save for the design of the Lindemann Center portion of the BGSC complex. This conclusion is being manufactured to diminish the importance of the Hurley Building, and to make it easier to sell off part of the public complex for private redevelopment.

PAUL RUDOLPH

HERITAGE FOUNDATION

In addition, the development schemes put forth in the PNF only show options that call for demolition, with no alternatives offered for retrofit or preservation. There is no evidence to support the PNF other than an unsubstantiated cost to retrofit the existing building, along with subjective opinions about why the building cannot be adapted or upgraded.

DCAMM's PNF also argues that the site can be altered since it was never completed as originally conceived. However, the proposed demolition will destroy the character of the public plaza and amputate a large portion of the complex, relegating the Lindemann Center to a single building without the context that made its design significant. If DCAMM's plan proceeds, the remainder of the BGSC will be diminished in importance and face future pressure to be removed for further development. Despite claims to protect the Lindemann Center, DCAMM offered no commitment or plan to designate the building as a landmark or guarantee its preservation.

DCAMM's PNF states the BGSC is in disrepair despite statements at a recent meeting at the Boston Society of Architects (BSA) that the building is in overall good condition. During the same presentation, DCAMM representatives showed photos of the site and suggested it was unsafe in order to justify the redevelopment. However, public safety could be enhanced by simple and more cost-effective solutions such as installing more site lighting without the need for new construction.

DCAMM also suggested that the Lindemann Center will be repaired despite this not being noted as a priority in the PNF. DCAMM is charged with the maintenance and upkeep of the state buildings, yet DCAMM has paved over Rudolph's original plaza and allowed staff parking to destroy original benches and stairs. The care and maintenance (or lack thereof) that is evident at the BGSC is the result of years' worth of poor decisions and neglect by the agency that now claims it will provide it once it tears down part of what it was supposed to maintain from the beginning.

The PRHF also has concerns about the process of the PNF application. During public presentations, DCAMM was unable to answer questions about project milestones and deadlines, and when opportunities for public review and comment would be available. Stakeholders and knowledgeable parties, such as the PRHF, have not been invited to participate in the process, except being copied on press releases or notified after a single invitation-only site visit.

In conclusion, the Paul Rudolph Heritage Foundation strongly supports the preservation of the Boston Government Service Center, as a part of the larger effort to preserve and interpret Boston's architectural and urban history. The proposed demolition of the BGSC will impact the public plaza and the loss of the Hurley building will partially unravel the urban fabric that is now part of Boston's unique history. The BGSC is a landmark of American modern architecture, and it is important that it be preserved. The Paul Rudolph Heritage Foundation supports finding alternative development proposals that would allow for the preservation of the existing complex and encourages consideration of a respectful compromise.

If you have any questions, please do not hesitate to contact me at +1-917-242-0652 or by email at kelvin.dickinson@paulrudolphheritagefoundation.org.

Sincerely,



Kelvin Dickinson
President

Cc:

Greg Galer, Boston Preservation Alliance
Gary Wolf, DOCOMOMO New England
Liz Waytkus, DOCOMOMO US
Mark Pasnik, OverUnder, Wentworth Institute
Carol Meeker, DCAMM
Abigail Vladeck, DCAMM
Rosanne Foley, Boston Landmarks Commission
Doug Kelleher, Epsilon
Drew Leff, Stantec
Henry Moss, Bruner/Cott

Appendix G: Applicable Reports and Studies

- I. DRAFT Design Guidelines (October 16, 2020)
- II. Lindemann-Hurley Preservation Report (January 2020)

DRAFT

Hurley Building

Design Guidelines

October 16th, 2020



DRAFT

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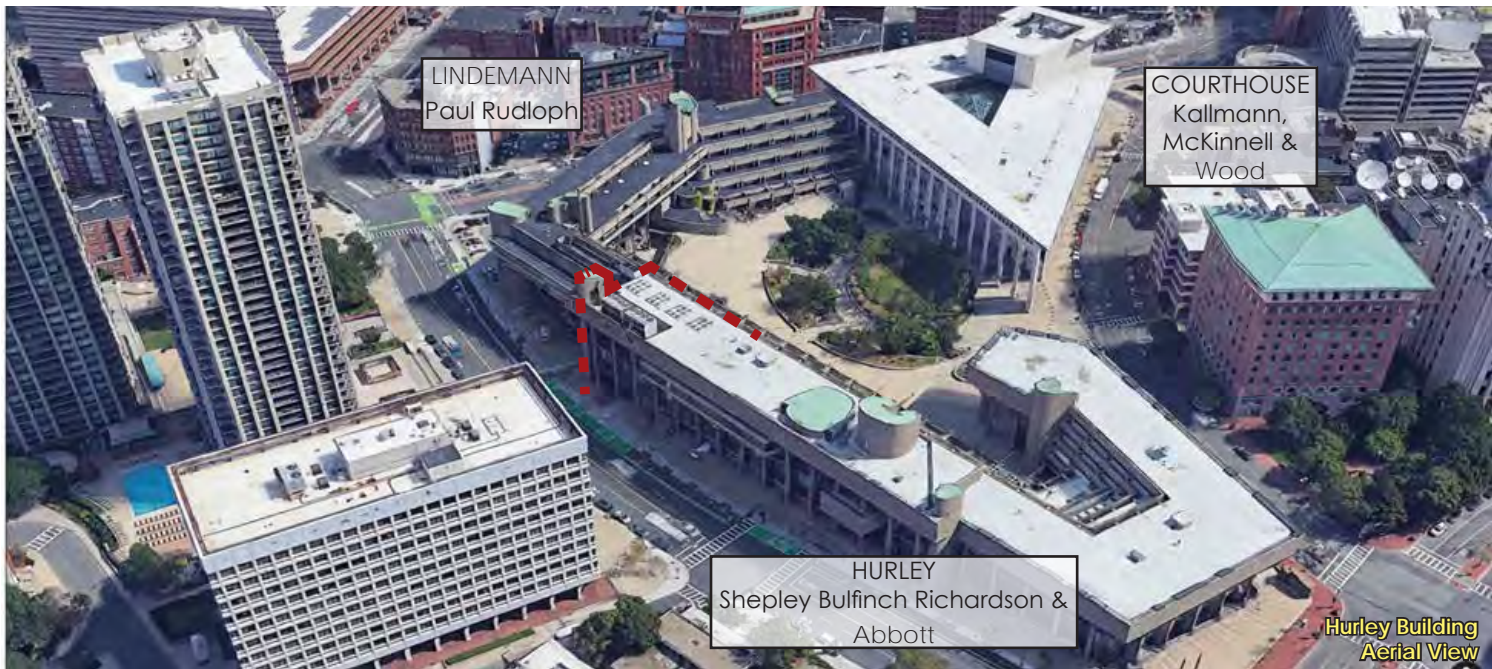
INTRODUCTION

The Charles F. Hurley building in Downtown Boston houses state offices for the Department of Unemployment Assistance, MassHire, and other Labor and Workforce agencies. As building and workplace standards have evolved and the structure has aged, the need to renew – and re-imagine – the Hurley building has become evident. The state's Division of Capital Asset Management and Maintenance (DCAMM) is looking for solutions that will improve the Hurley building and its site, to create a pedestrian-friendly location that better serves this vibrant part of the City – while respecting the site's history and improving on the quality and cost of office space for state employees.

The Hurley building is part of a composition of buildings and open spaces conceived by Paul Rudolph in the 1960's, but not fully realized (see the full Historic report¹). DCAMM acknowledges the important place the Hurley and Lindemann Buildings occupy in architectural culture, and the opportunities and challenges of Rudolph's plan. This site is ripe to be reconceived in a way that respects its historic importance, engages and invites people in, and exhibits innovations in sustainability - while fulfilling the Commonwealth's building needs.

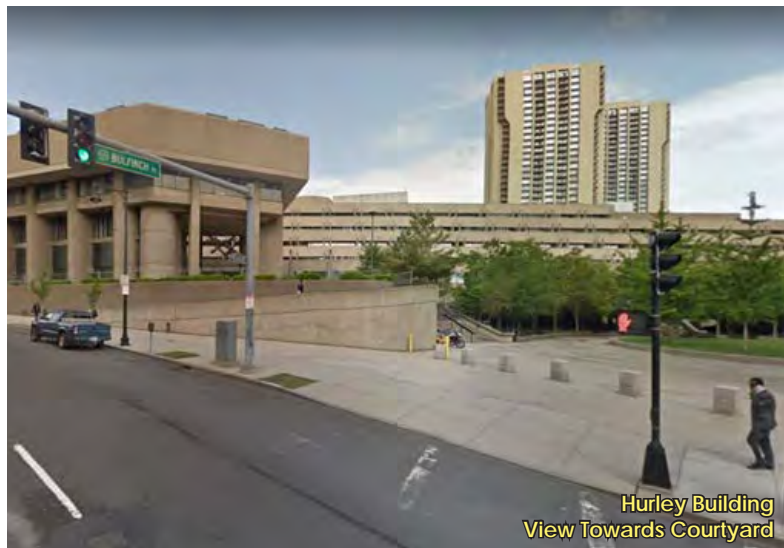
The purpose of this package of Guidelines is to set forth the goals that DCAMM seeks to achieve in redeveloping the Hurley Site.

1. "Boston Government Services Center: Lindemann-Hurley Preservation Report." Bruner/Cott Architects, with OverUnder and Stantec. January, 2020.





Hurley Building
Existing Cambridge Street Plaza



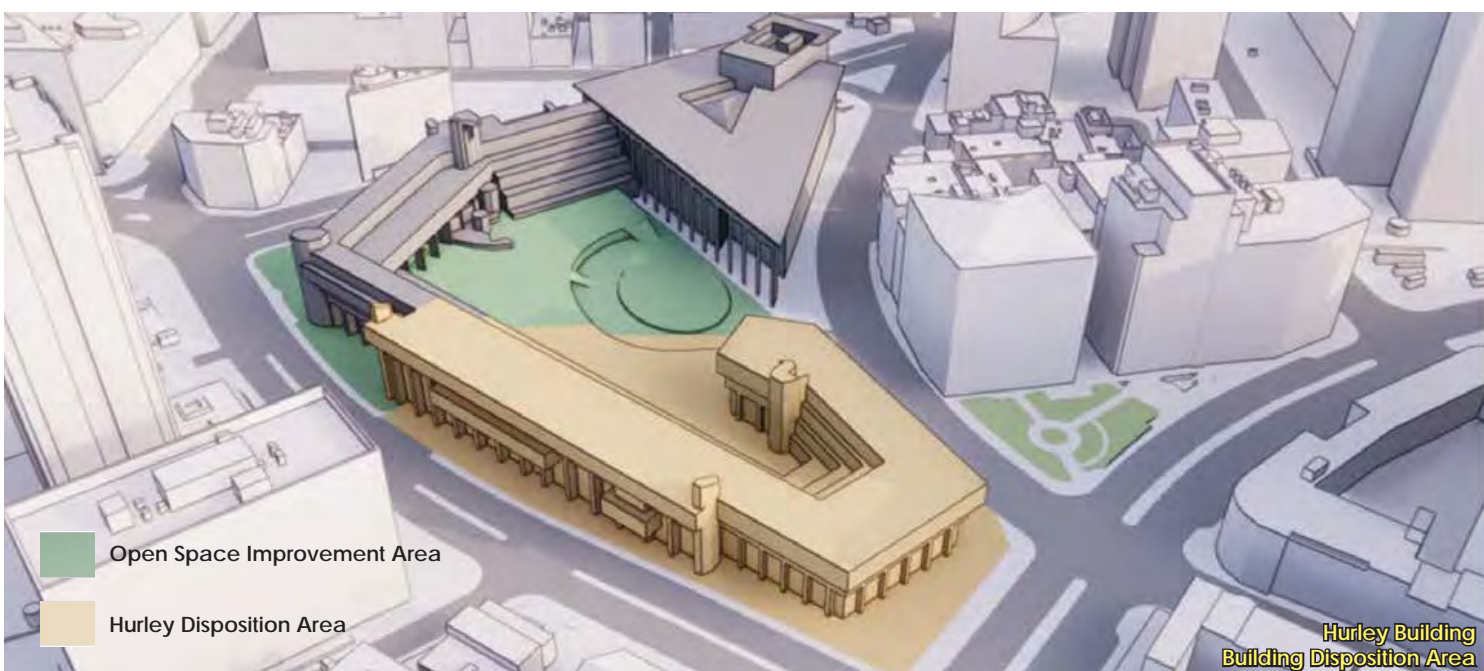
Hurley Building
View Towards Courtyard



Lindemann Building
Existing Merrimac Street Plaza

PROJECT SCOPE

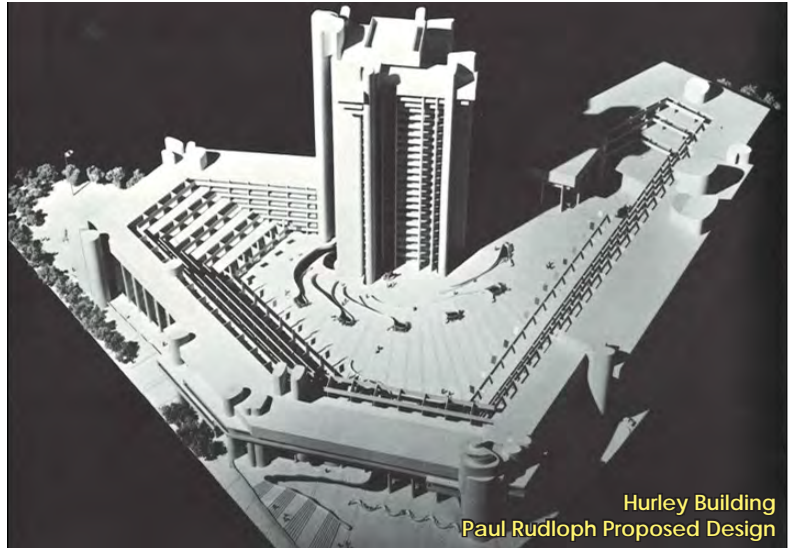
The Hurley building and its sidewalks, the plaza on Cambridge Street, and the site's interior courtyard (highlighted in yellow) constitute the primary location for renovation, new building additions and open space improvements. The Lindemann building is considered one of Paul Rudolph's most identifiable buildings; changes to the Lindemann building are not a part of this RFP. Development teams are encouraged to propose improvements that will restore the open space surrounding Lindemann (highlighted in green), and integrate it with the redevelopment site (in yellow). Especially of interest is how improvements to Merrimac Plaza could engage the central courtyard and increase through-block connections.



Hurley Building
Building Disposition Area



Lindemann Building
Stanford Street View - 1972



Hurley Building
Paul Rudolph Proposed Design



Lindemann Building
Exterior Walkway View

HISTORICAL SIGNIFICANCE OF THE LINDEMANN/ HURLEY CAMPUS

Paul Rudolph's work is recognized nationally and internationally as representative of an era of concrete modernism in the United States. The Hurley Building, designed by architects at Shepley Bulfinch Richardson and Abbott in collaboration with Paul Rudolph, was opened in 1971 as part of the Boston Government Service Center complex. This Urban Renewal Project was part of I.M. Pei and Henry Cobb's 60-acre plan for Government Center. Three concrete buildings were planned for the site, but only two of those were built. Today, the Hurley Building shares the site with the other original building – the Erich Lindemann Mental Health Center – and with the Edward Brooke Courthouse, which was added to the site several decades later.

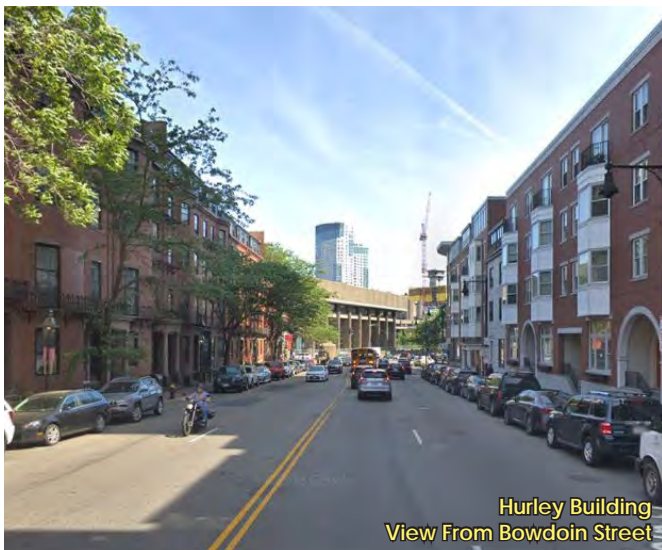
Key defining features of the architecture of the Government Service Center include corduroy concrete; columns reaching several stories high spaced at regular intervals; prominent vertical elements that contain elevators, staircases, and bathrooms; and stepped terraces with sunshades surrounding a central plaza. Redevelopment should celebrate these features to the extent feasible through imaginative, (contemporary) adaptive reuse of the existing building.



Lindemann Building
Stairwell



Hurley Building
Aerial View - 1973



NEIGHBORHOOD CONTEXT

At the edge of Boston's West End neighborhood, beside Beacon Hill and Government Center, the Charles F. Hurley building occupies a prominent site in Downtown Boston. Each surrounding neighborhood has its own distinct architectural character, scale, and open spaces. From Beacon Hill's narrow streets and brownstones, to the Old West Church and modern high-rise residential and hospital buildings of the West End, to the brick and concrete 1960's and 70's government office buildings of Government Center and sleek new towers near North Station - each side of the Hurley/Lindemann complex offers something unique. It is important that design proposals acknowledge the physical context of the neighborhoods and amenities around the project site and create programmatic synergies that improve the local experience.





URBAN DESIGN

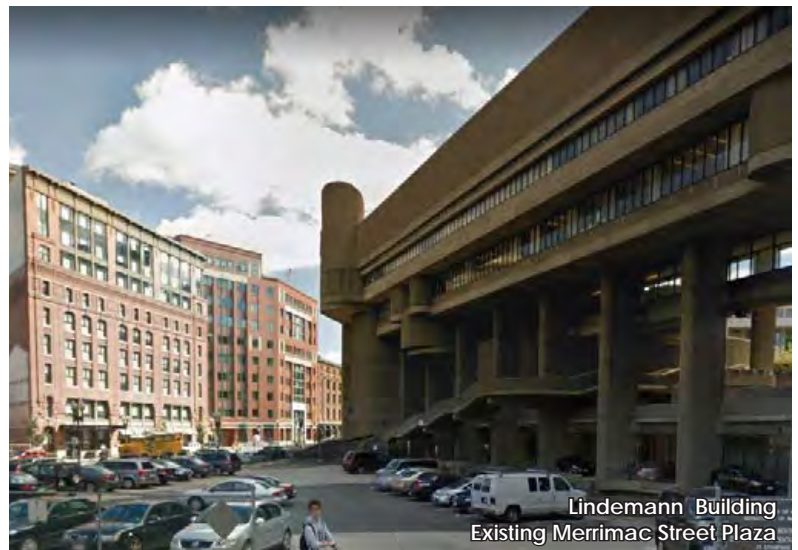
DCAMM encourages significant, creative, dynamic urban interventions that complement, celebrate, and improve the Hurley Building, its site, and the entire urban block. The Hurley building exhibits many qualities recognized from the era of concrete modernism, while at the same time it faces critical reactions to design flaws, deferred maintenance issues, and changes in its setting. By encouraging preservation of significant features along with adaptive reuse, DCAMM asks respondents to address the site's existing urban design challenges, including but not limited to:

- Complementing the monumental scale with additional elements at human scale.
- Seeking ways to activate the ground floor, sidewalks, and public spaces.
- Finding solutions that enhance what are currently under-utilized or poorly utilized paved plazas.
- Providing additional points of entry to enliven streets and plazas.
- Re-conceiving areas with concealed entrances, dark passages, or other unsafe urban conditions.
- Enhancing the connectivity of the central courtyard to improve its linkage to the city surrounding it, and
- Improving or removing loading docks on Stanford Street.





Hurley Building
Existing Cambridge Street Plaza



Lindemann Building
Existing Merrimac Street Plaza

URBAN DESIGN PRINCIPLE 1

PROVIDE HIGH QUALITY, LANDSCAPED ACCESSIBLE OPEN SPACES AT CORNER PUBLIC PLAZAS AND SAFE, PEDESTRIAN-FRIENDLY SIDEWALKS.

The sidewalks and large empty spaces in and around the Hurley Lindemann complex require thoughtful redesign to bring them up to modern standards (refer to Boston's Complete Streets Guidelines) of seating, lighting, planting, and security. Designs for the Cambridge and Merrimac Street plazas should reimagine them as places that the public and building users would want to spend time in as well as pass through. Areas for pedestrian enjoyment, public art, bike storage, and other street furnishings should be proposed with an eye to adding open space activities that complement the surrounding neighborhoods. With increased stormwater due to climate change, landscape should be employed as much as possible to soften harsh surfaces and control runoff.



Example For Reference
First Avenue Water Plaza- SCAPE



Example For Reference
First Avenue Water Plaza- SCAPE



Example For Reference
Harvard Plaza - Stoss



Example For Reference
18 Septemberplein - UN Studio



Hurley Building
Existing Stanford Street Facade



Hurley Building
Existing Concrete Benches

URBAN DESIGN PRINCIPLE 2

ACTIVATE GROUND FLOORS SO THAT PLAZAS AND SIDEWALKS ARE ENGAGING, PROMOTE COMMUNITY LIFE, AND ENRICH THE SENSE OF PLACE.

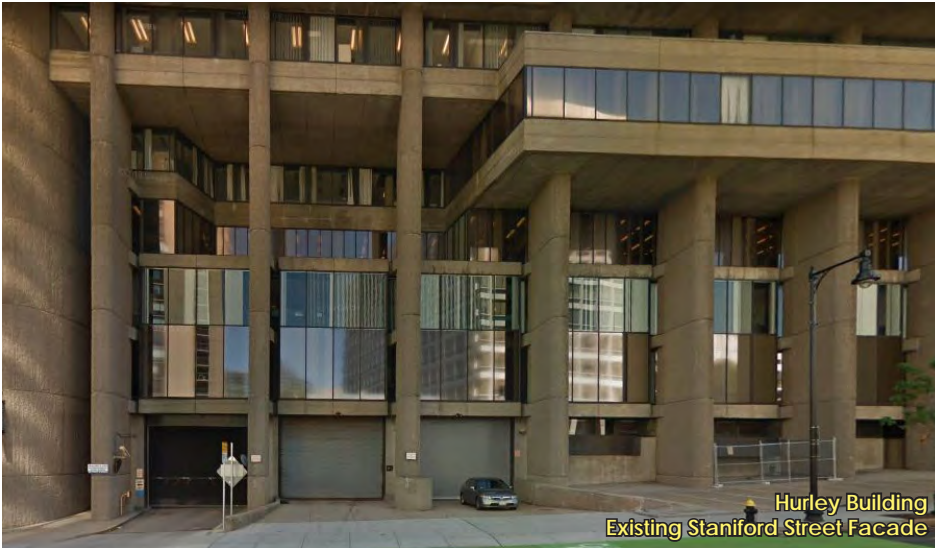
Along the Stanford and New Chardon street facades active programs should be placed at the ground level, including retail, restaurants, community spaces, entrances, and lobbies. Currently the ground floor does not align with the sidewalk level; interventions which improve on that connection and increase accessibility are important. Increased glazing could be used to reduce the solid facades that currently exist at the base of the Hurley building. Service and loading areas should be kept off of main facades as much as possible.



Example For Reference
1 Park Row - Fogarty Finger Architects



Example For Reference
Claire T. Carney Library - designLAB Architects



Hurley Building
Existing Stanford Street Facade



Example For Reference
Pierhouse - Marvel Architects

URBAN DESIGN PRINCIPLE 3

REDUCE THE 'SUPERBLOCK' EFFECT.

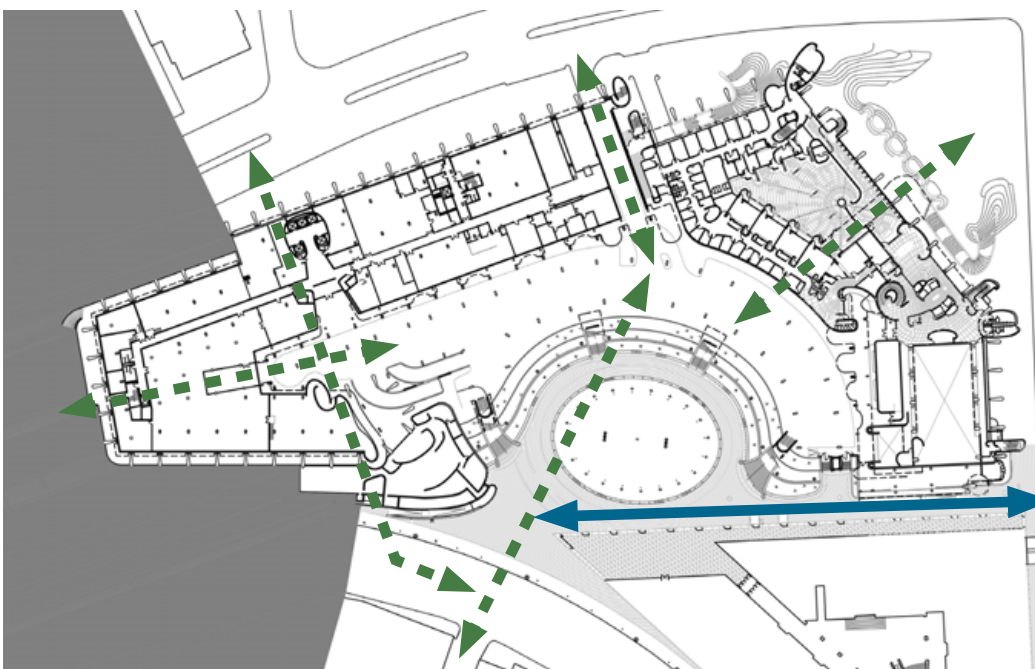
Pedestrians prefer neighborhood blocks that allow for a variety of experiences and convenient short cuts to their destinations. The existing Brooke arcade is already a major route from Beacon Hill to North Station.

DCAMM encourages the creation of a new 'Shared Street' (see definition in Boston Complete Streets Guidelines) between the Lindemann and Hurley buildings to allow passage for pedestrians and bicyclists across the site. Other connections through Hurley's lobbies, public cross-block corridors, and pathways that pass through the monumental Lindemann stair to Merrimac Street are encouraged.

Several possibilities are diagrammed here – these are only suggestions to encourage creative solutions.



Example For Reference
Ithaca Commons - Sasaki



Edward W. Brooke
Courthouse Connection



Potential Connections

Hurley Building
Potential Connections



MBTA Bowdoin Station



Charles MGH MBTA Station

URBAN DESIGN PRINCIPLE 4

MODERNIZE HOW PEOPLE GET TO THE SITE; FOCUS ON TRANSIT-ORIENTED DESIGN.

The Commonwealth is focused on leveraging the Hurley building's location to minimize traffic and pollution from the building renovation and additions. Mixed use urban sites such as this benefit from being served by multiple modes, clean transportation and electric vehicle charging infrastructure.

With three MBTA transit lines and commuter rail stations within a 5-minute walk (Orange, Blue, Green) and a fourth within a 10-minute walk (Red), as well as bus lines on surrounding streets, the site is extremely well served by public transit. Car and bike-sharing pick up and drop off locations should be planned in proximity to building entrances. Additional parking beyond DCAMM requirements should be minimized.



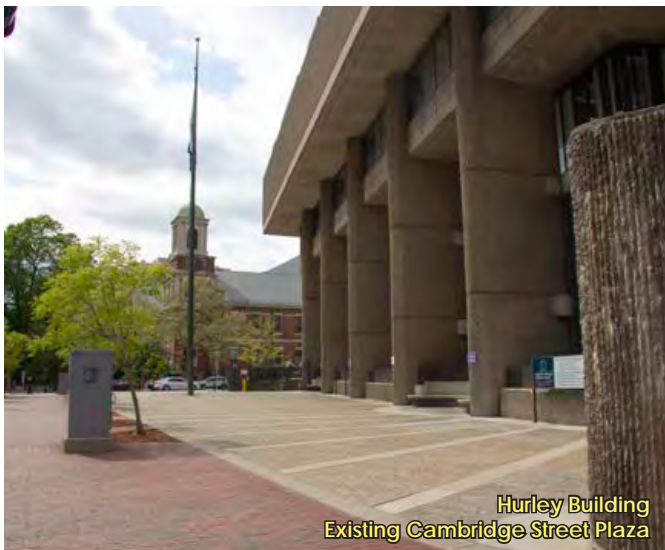
Example For Reference
Bike Share



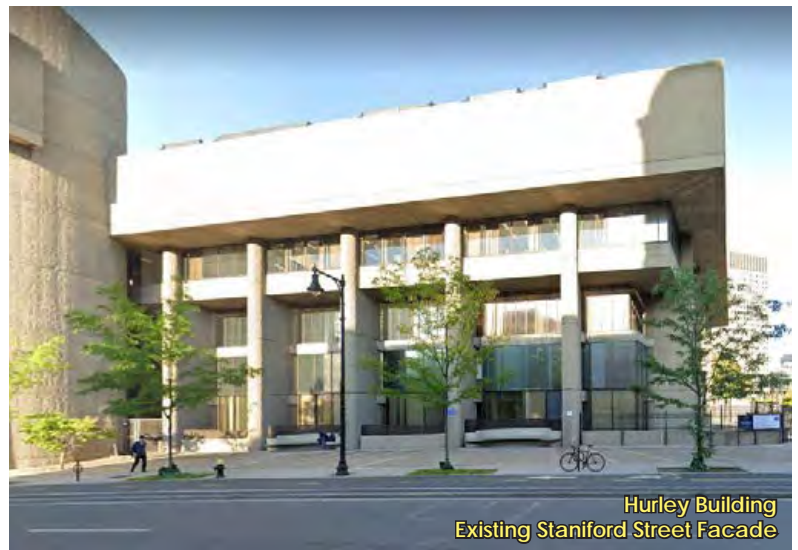
Example For Reference
Queens Plaza - Margie Ruddick Landscape



MBTA Government Center Station



Hurley Building
Existing Cambridge Street Plaza



Hurley Building
Existing Stanford Street Facade



Hurley Building
Existing Cambridge Street Facade

BUILDING DESIGN

DCAMM is seeking a solution that leads the nation in addressing a common challenge of adapting and adding to buildings of this vintage style. Design proposals should include contemporary innovative approaches, just as Rudolph's design represented innovation and public aspirations for its era. Renovations should take care to respect historically significant aspects of the existing structure while addressing the Hurley's challenges, including:

- Low performance envelope.
- Stepped courtyards that are hard to maintain and keep waterproof.
- Inefficient office floor plates.
- Upper level office space that has no windows.

Any building additions should be complementary in terms of use, form fenestration, and materials. Designers should use the Secretary of the Interior's Standards for Rehabilitation to guide decisions about changes, and new design elements should reinvigorate the site, transforming the public's perceptions of the site into a place they want to visit and spend time.



Hurley Building
Existing Courtyard



Hurley Building
Existing View on New Chardon Street



Hurley Building
Adaptive Reuse Of Massing



Hurley Building
Renovate All Street Facades



Hurley Building
Renovate Wing Closest To Lindemann



Hurley Building
Existing Mural

BUILDING DESIGN PRINCIPLE 1

PRIORITIZE ADAPTIVE REUSE / REHABILITATION

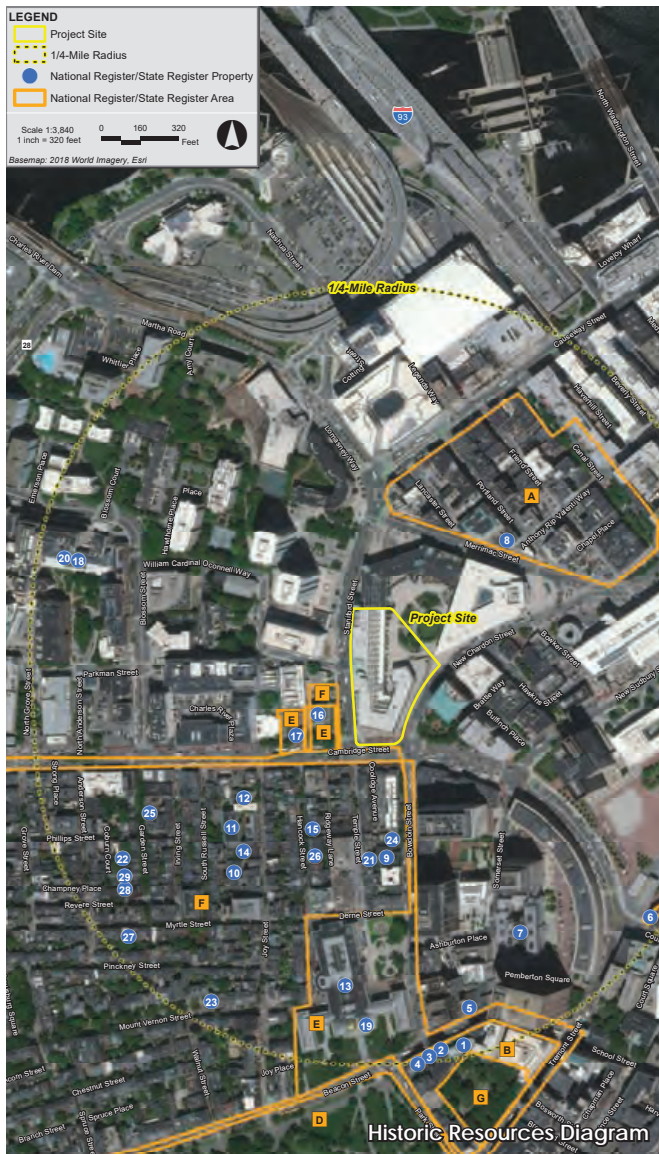
DCAMM encourages solutions that creatively adapt and reuse as much of the existing building as possible while also meeting other Commonwealth goals. At the same time, radical reimagination may be required to transform the project into a state-of-the-art building for its occupants and a pedestrian-friendly neighbor within its urban context. Reworking the original street elevations will involve both new construction and restoration to convey the original design intent while realizing the site's potential for more usable space. The opportunities for creative design are significant as the necessity to communicate Paul Rudolph's vision for the site.



Hurley Building
Existing Courtyard



Hurley Building
Existing Cambridge Street Corner



BUILDING DESIGN PRINCIPLE 2

DEVELOP AN INNOVATIVE AND COMPLEMENTARY NEW COMPOSITION OF MASSING AT VARIOUS SCALES.

The original, unrealized Rudolph composition included a mixture of heights and a central tower. This city block, north of Beacon Hill and between the North End and Government Center, is in an evolving zone of mid-rise and tall buildings, and an increase in density will not only help DCAMM meet their space needs, but also improve and enliven the site. At the same time, new building massing and height near the Lindemann building should be appropriately scaled. Any additions should also be sensitive to adjacent residential communities such as Beacon Hill and the West End, National Register Districts (Beacon Hill, Bulfinch Triangle), and National Historic Landmarks (Old West Church, First Otis House).





BUILDING DESIGN PRINCIPLE 3

CREATE A SIGNATURE NEW RENOVATION & ADDITION(S) THAT COMPLEMENTS THE EXISTING HURLEY/LINDEMANN/COURTHOUSE BLOCK.

DCAMM is looking for solutions that fulfill its program needs and meet current standards of Design Excellence. Design Excellence is defined by (but not limited to) an exemplary architectural outcome that is developed with best practice standards for modern planning and design, with state-of-the-art building infrastructure systems, and spaces that reflect the ideals of the Commonwealth. New buildings proposed should be a reflection of the Commonwealth's commitment to better stewardship of the State's assets, conveying universal design goals and enhancing resilience in the face of climate change and societal challenges.

DCAMM believes that any new construction on the site should be both exceptional and approachable, and that transforming the Hurley Building with inventive design ideas is critical to the project's successful approval and implementation.



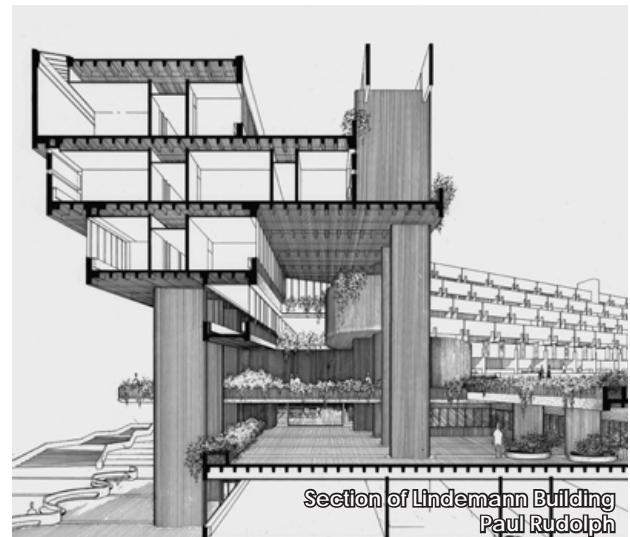
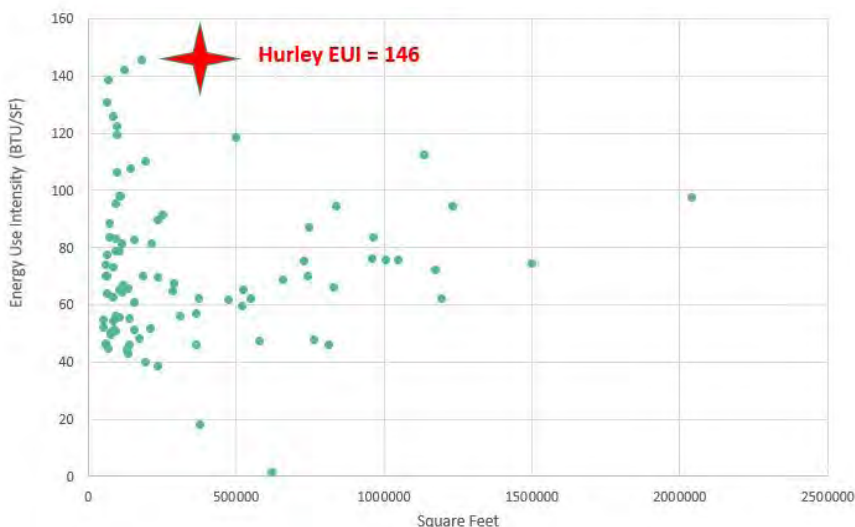


SUSTAINABLE DESIGN

The Hurley Building, a product of 1960's construction techniques and available materials, and the Hurley Site development should be a showcase of sustainable redevelopment strategies for similar buildings of this era in the Commonwealth. Upgrading and adding to buildings like the Hurley requires intensive analysis and imagination to retain their design essence while addressing occupant comfort and energy consumption. Full life-cycle analysis that includes operating and embodied carbon of the existing structures must be included in net carbon emission assessments.

Recognizing that the goals of sustainable and resilient design are interwoven with the goals of urban design and building design, the following guidelines pertain specifically to Sustainable Design Principles.

Energy Use Intensity of Commercial Buildings in Boston



Article 37 Green Building and Climate Resiliency Guidelines



SUSTAINABLE DESIGN PRINCIPLE 1

MEET BASELINE SUSTAINABLE AND RESILIENT DESIGN REQUIREMENTS.

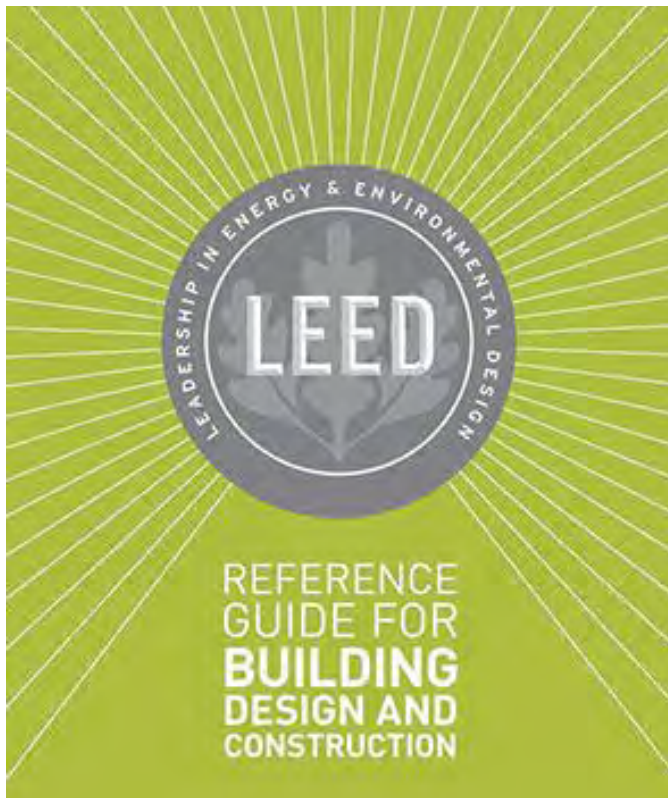
The City of Boston and the Commonwealth have developed robust regulatory frameworks for sustainable building and site design. The Hurley Site development is subject to these requirements, which include but are not limited to:

Executive Order No. 484 : Leading by Example - Clean Energy and Efficient Buildings applies to DCAMM, who will occupy a significant portion of the Hurley Site project. The sustainable design requirements include, but are not limited to:

- Mass. LEED Plus Certification;
- Energy Performance 20% better than the Massachusetts Energy Code;
- Independent 3rd party commissioning;
- Reduction of outdoor water consumption by 50% and indoor water consumption by 20% relative to baseline;
- Conformance with at least 1 of 4 identified smart growth criteria.

Article 37 Green Building and Climate Resiliency Guidelines of the Boston Zoning Code. Its sustainable design requirements include, but are not limited to:

- Zero Carbon Building Assessment including First and Life-Cycle Cost Assessment and Zero Energy Building Analysis;
- Climate Resiliency Checklist, utilizing Boston Zoning's Sea Level Rise – Flood Hazard Area mapping tool;
- Energy Modeling Report including an all-electric Low Energy Building solution;
- Goal of achieving all possible LEED credits and to construct the highest performing and most resilient building feasible;
- Expectation for project to fully utilize all available utility, state, and federal energy efficiency, green building, and resiliency funding and technical assistance;
- Requirement to achieve at minimum the 'Certifiable' level utilizing the most appropriate LEEDv4 rating system;
- Credit given for Historic Preservation – (1) of (4) possible Boston Green Building Credits applicable toward achieving a LEED Certifiable project as required.





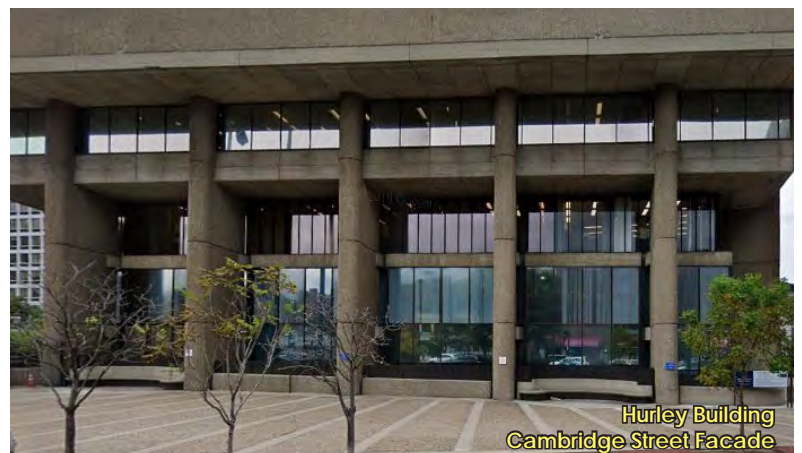
SUSTAINABLE DESIGN PRINCIPLE 2

ADDRESS THERMAL PERFORMANCE OF EXISTING HURLEY BUILDING.

The air sealing and insulation of the existing Hurley Building's roof, basement, walls, windows, doors, and floors are well below today's standards, affecting the ongoing cost of operations and occupant comfort, and leading to higher energy use. Where the existing building is retained, the following issues should be addressed:

- Poor Thermal Envelope of Existing Hurley
- 8" thick uninsulated concrete walls
- Inadequate roof insulation
- 1/4" single glazed windows
- Metal window and door frames without thermal breaks
- Large areas of exposed cantilevered concrete floors

The challenge of upgrading the existing Hurley Building envelope's thermal performance while preserving the building's character need to be addressed with strategies that can meet the Secretary of Interior Standards for rehabilitation. Opportunities should be explored to incorporate green roofs and on-site renewable energy at appropriate areas of retained Hurley Building.





SUSTAINABLE DESIGN PRINCIPLE 3

GO BEYOND MINIMUM SUSTAINABLE AND RESILIENT DESIGN REQUIREMENTS.

The Hurley Site development project should endeavor to meet higher standards of performance, set target Energy Use Intensities (EUIs) below baseline EUI for similar code-compliant buildings, and balance embodied carbon with operational carbon assessments over the life-cycle of the development. Projects are asked to adopt as many of the following goals and standards as they are willing and able to achieve:

- LEEDv4 Gold certification or propose equally ambitious certification
- Natural gas-free except for emergency back-up power
- Net Zero Carbon – in compliance with Boston's proposed Net Zero Zoning; specifically include the embodied carbon of the existing Hurley Building and carbon emissions of demolition in the Zero Carbon Building Assessment required by Article 37
- Net Zero Energy – utilizing the Zero Energy Building Analysis of Article 37; options for certification include LEED Zero, ILFI and PHIUS+ Source Zero certifications
- Passive House (PHIUS or PHI) standard for residential use
- Adopt the all-electric building option required in the Article 37 Energy Modeling Report.
- Healthy, day-lit, and flexible space with potential for WELL or Fitwel certification
- Best practices in envelope design, including low window to wall ratio.

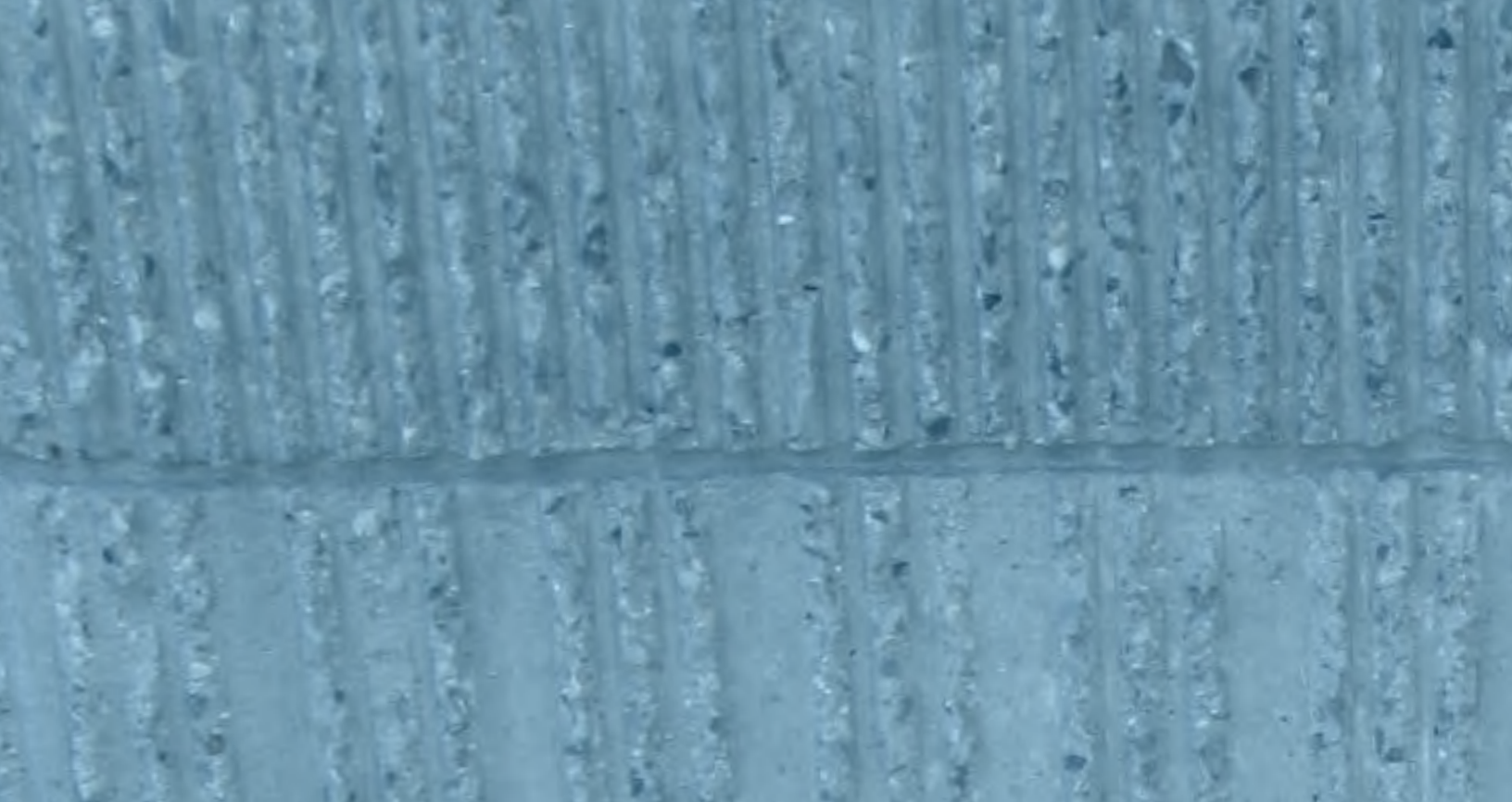




BOSTON GOVERNMENT SERVICES CENTER: LINDEMANN-HURLEY PRESERVATION REPORT

JANUARY 2020

Bruner/Cott
ARCHITECTS



Produced for the Massachusetts Division of Capital Asset Management and
Maintenance (DCAMM)

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January 2020

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05	Recommendations
06	Development Alternatives

Appendices

A	Massachusetts Cultural Resource Record BOS.1618 (2016)
B	BSGC DOCOMOMO Long Fiche





INTRODUCTION & CONTEXT

Introduction

This report examines the Boston Government Services Center (BGSC), which was built between 1964 and 1970. The purpose of this report is to provide an overview of the site's architecture, its existing uses, and the buildings' relationships to surrounding streets. It is to help the Commonwealth's Division of Capital Asset Management and Maintenance (DCAMM) assess the significance of the historic architecture of the site as a whole and as it may vary among different buildings and their specific components.

The BGSC is a major work by Paul Rudolph, one of the nation's foremost post-World War II architects, with John Paul Carlhian of Shepley Bulfinch Richardson and Abbot. The site's development followed its clearance as part of the city's Urban Renewal initiative associated with creation of Government Center. A series of prior planning studies by I. M. Pei and others placed three separate buildings on the site. The Boston Redevelopment Authority appointed three architectural firms to design the buildings for related government agencies and subsequently assigned Paul Rudolph to create a thoroughly coordinated site design and architectural guidelines for individual buildings by other designers. He individually designed the Lindemann Center for Mental Health, and later an office tower to house the state's Department of Health, Education and Welfare (HEW) that was never built.

DCAMM commissioned this report to help guide future development that could realize the site's potential for improved and increased office space within existing zoning constraints, improve street frontages and site circulation, and identify appropriate management of alterations to its historic mid-century modern architecture. The northern two-thirds of the site is occupied by two institutional users: the intensive occupancy of the Lindemann Building by shelters with clinical services for Boston's most fragile homeless constituencies, and the Edward W. Brooke Courthouse, built thirty years later.

The Hurley Building occupies the southern third of the site between the intersections of Cambridge, New Chardon, and Staniford Streets and adjacent to the Lindemann Building. This portion of the site could be considered for private development in coordination with the Commonwealth with new building locations dependent on the extent of preservation and demolition at the Hurley Building. The report includes comparison of four broad development approaches to the Hurley Building portion of the site, each requiring different areas of demolition and retained building. The comparison identifies the different consequences for the site's historic architecture while recognizing that the Rudolph plan was predicated on construction of the HEW tower that never materialized.

Recommendation Summary

The following analysis and recommendations attempt to balance the original architectural design quality, authorship by Paul Rudolph, flexibility for different uses, urban design effects at street level and skyline, commercial demand for retail, office, and residential markets, and construction cost. This study identifies the Lindemann Mental Health Center as the site's primary historic resource and recommends that Rudolph's design for Lindemann remain largely intact. The Shepley Bulfinch Richardson & Abbott (SBRA)-designed Hurley Building may be more open for alteration or demolition along the Cambridge and New Chardon Street frontages and perhaps farther along Staniford Street, to allow for new construction and better connection to the wider urban setting.

As only two of the three buildings in the original Rudolph design were completed, the following analyses differentiate levels of significance among elevations at the Lindemann and Hurley Buildings that are visible from public vantage points. The separate elevations are the result of segmentation of each building's facades by projecting towers and angular changes in plan alignment that break up views along Staniford, Merrimac, Cambridge, and New Chardon Streets. This report also addresses views within the elevated plaza and along major pedestrian routes at the mezzanine level of the Lindemann Building. The designation of three smaller plazas at street intersections was another concept of Rudolph's site design, although only two of these were implemented according to his design.

The study's development scenarios, A-D examine planning alternatives for the site that have different implications for historic preservation and urban design. The study assesses the significance of proposed demolition and alteration in terms of association with Paul Rudolph as an individual designer, his organizing vision for the site as a whole, the architectural quality of separate portions of the site's existing construction, and the effects of the existing architecture on its urban context—both visual and social.

Context

REGULATORY STATUS

The BGSC is not currently designated as a national, state, or local historic landmark. The BGSC is eligible for listing on the State Register of Historic Places and the National Register of Historic Places that is maintained by the U. S. Department of the Interior. The site will likely be proposed by preservation advocates as an individually listed National Historic Landmark because of its association with an important architect and its monumental assertion of radical departure from previous architectural styles. Regulatory agencies and advocacy groups will use the Secretary of the Interior's Standards for Rehabilitation to guide decisions about changes. These standards are applicable to historic properties on the National Register if state or federal funds are involved. If federal funding is involved in construction or ownership, the Standards could be applied through a review under Section 106 of the National Historic Preservation Act (NHPA) of 1966.

The BGSC is described as a Category Two Building (major significance) by the Boston Landmarks Commission (BLC) but is not a designated Boston Landmark. In September 1990, The BLC completed a Building Information Form that recommended the complex "for individual listing on National Register and designation (exterior and selected interiors) as a Boston Landmark. BOS.1618 (9/90)." The Boston Central Business District Survey Update of October 30, 2008 identifies the BGSC as a "building of major significance" and recommends that the Boston Landmarks Commission consider it for individual National Register listing. While the site is currently eligible for listing there is no record of a designation on MACRIS, the Massachusetts Historical Commission (MHC) digital listing of historic places (see Appendix A).

Designation as a Boston Landmark would increase the level of protection for the building, as local designation is typically more restrictive than the Secretary of the Interior's standards.

PUBLIC ADVOCACY

Given their monumentality and significance by association with Paul Rudolph, DCAMM should anticipate resistance to any demolition of exterior architectural features, particularly those visible from public vantage points, from organizations such as the BLC and the MHC. Several other high-profile cases of Rudolph buildings suggest that DCAMM would likely face a nationwide reaction to demolition proposals. The most informed advocacy testimony is likely to reach those agencies through representations by the Boston Preservation Alliance and DOCOMOMO_US/New England. DOCOMOMO_US/New England has already prepared and submitted to the international headquarters of the DOCOMOMO a “New International Selection Documentation Long Fiche” that includes description of the Edward W. Brooke Courthouse (see Appendix B).

Boston is the home of a special collection of architecturally ambitious institutional and government buildings that were built with exposed concrete. The scale and complexity of the BGSC combined with the reputation of Paul Rudolph and the history of Urban Renewal sets the preservation arguments for the complex apart from those advocacy efforts that concern smaller structures of the same period. It is worth recognizing that historic preservation arguments are sometimes used as the vehicle for advancing separate urban design objectives at public hearings. The Edward W. Brooke Courthouse created a public park and its designers reworked and completed the east elevation of Rudolph’s parking structure, which defines the western edge of this open space. Public advocacy for the park may invoke preservation arguments for the courtyard plaza to protect the park from removal or alteration for new development.





SITE DESCRIPTION

Site Description

The BGSC occupies a triangular site of 292,965 square feet at the north base of Beacon Hill. The site is bounded by Cambridge Street to the south, Staniford Street to the west, Merrimac Street to the north, and New Chardon Street along its southeast edge. The site comprises the 221,900 gross square feet Erich Lindemann Building, the 327,022 gross square feet Charles F. Hurley Building, the Edward W. Brooke Courthouse, and a central courtyard plaza above a semi-enclosed garage. The Lindemann building is currently used as a mental health center, including in-patient and clinical facilities, transitional housing center, and homeless shelter that currently support 113 beds. The primary occupant of the Charles F. Hurley Building is the Executive Office of Labor and Workforce Development. Other state agencies occupying the building include Human Resources, the Group Insurance Commission, Health Information Exchange, Commission on the Status of Women, and Executive Office of Technology Services and Security. The northeast corner of the site is occupied by the Edward W. Brooke Courthouse constructed in 1999. Including both the Lindemann and Hurley buildings, the site's current floor area ratio (FAR) is 1.95. Zoning for the site appears to have been specifically derived from the Rudolph plan with a permissible FAR of approximately 8-10.

Key to Elevations

HURLEY BUILDING

- H1 Staniford Street with entrances and northern bays at loading dock
- H2 Hurley trapezoid corner at Staniford and Cambridge Streets
- H3 Hurley mini-plaza facade including southeast corner at 1st floor slab level
- H4 Hurley New Chardon Street colonnade
- H5 Hurley northeast return with floors cut out for tall piers
- H6 Hurley view to south with corner of northeast return
- H7 Hurley Plaza courtyard elevation including entrance lobby
- H8 Hurley Plaza courtyard elevation at bays aligned with loading docks

GARAGE

- G1 Garage exterior from New Chardon Street and park
- G2 Garage upper level interior arcade with walkway to Lindemann mezzanine entrance

LINDEMANN BUILDING

- L1 Lindemann view across Merrimac plaza with stair to Plaza courtyard
- L2 Lindemann wing across Merrimac Street
- L3 Lindemann lower east wall at Edward Brooke Courthouse
- L4 Lindemann terraced elevation facing end of Plaza and park
- L5 Lindemann view into bridged portal down to Merrimac plaza
- L5A Lindemann view at mezzanine level entrance with opening to sky
- L6 Lindemann stepped facade at Plaza courtyard
- L7 Lindemann Staniford Street elevation

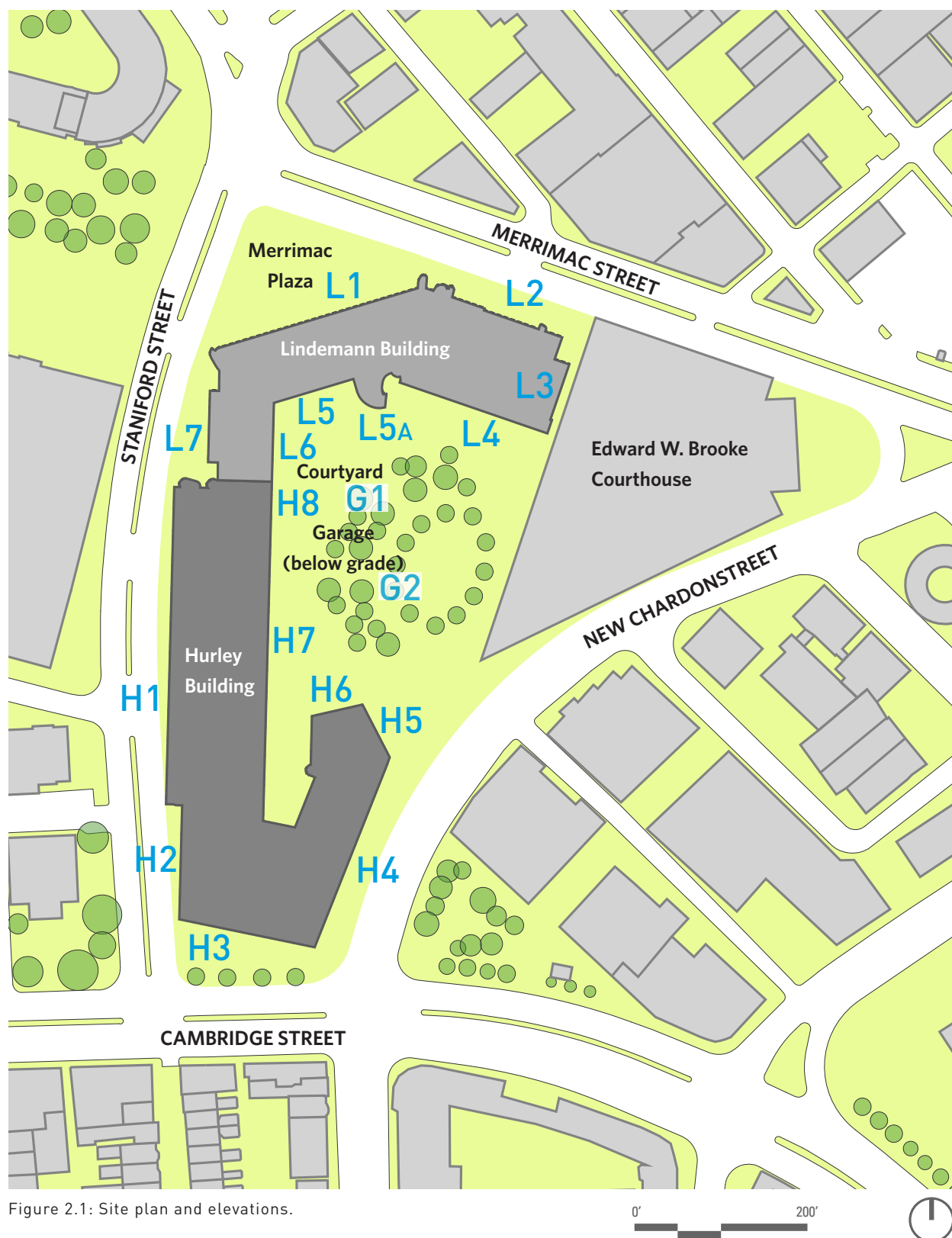


Figure 2.1: Site plan and elevations.

Designated elevations relate to photograph locations that are cited in captions throughout the report.



AFFORDABLE HOUSING
IN DOWNTOWN BOSTON



3 ACRE DEVELOPMENT PARCEL



HISTORY & SIGNIFICANCE

Paul Rudolph, Architect

Paul Rudolph was an important and controversial architect from a period of radical change in both building design and city planning. After graduating from Harvard's Graduate School of Design in 1947, Rudolph moved to Sarasota, Florida where he gained recognition for his design of modernist houses. His commissions leapt in scale when he won a project for the U.S. embassy in Jordan, the place where he began to develop ideas for bush-hammered concrete wall surfaces; the embassy remained unbuilt. He moved north to design the Jewett Arts Center at Wellesley College and the new offices for Blue Cross/Blue Shield in Boston.

Rudolph taught at Harvard and MIT in 1954 and rented office and living space in Cambridge. He was also a visiting critic at Yale's School of Architecture and in 1958, became chairman of the Yale architecture department. By the end of the decade, he had completed a monumental concrete parking garage in New Haven, a large laboratory and housing for married students at Yale and had embarked on the design for the Yale Art and Architecture Building (the A&A Building). The latter was the most direct precursor for his design and the architectural guidelines for associated architects at the BGSC. The A&A Building introduced a greater monumentality and degree of spatial and decorative eccentricity not seen in his previous work.

Rudolph opposed the flat, planar American version of the International Style, gaining a worldwide reputation for an expressive modernism that favored aesthetic principles for organizing buildings above the more impersonal or functional reasons common in architecture produced for corporate clients. Rudolph built on the monumental size of his recent buildings to expand his commissions into urban design at a scale consistent with the aggressive urban renewal campaigns of the 1960s. His work in New Haven introduced him to Edward J. Logue, who later headed the Boston Redevelopment Authority, but it was his reputation as a designer that led to his connection to the BGSC project.



a



b



c



d

Figure 3.1: Examples of Paul Rudolph's work prior to designing the BGSC.

- (a) Jewett Arts Center, Wellesley College, 1956-1958
- (b) Blue Cross Building, Boston, MA, 1957-1960
- (c) Temple Street Parking Garage, New Haven, CT, 1959-1963
- (d) Yale Art & Architecture Building, New Haven, CT, 1958-1964

Rudolph and the BGSC

Edward Logue was the primary administrator of Boston's Government Center renewal, a sixty-acre clearance and construction project to be completed according to a master plan by I. M. Pei and Henry N. Cobb. The BGSC had begun as three independently conceived structures to be designed by three different architects working in concert. Shepley Bulfinch Richardson and Abbot (SBRA) was the architect for the Charles F. Hurley Building for Employment and Social Security. M. A. Dyer with Pederson & Tilney Company was appointed to design the Health, Education, and Welfare (HEW) Tower. The firm of Desmond and Lord was responsible for the Erich Lindemann Mental Health Center; Rudolph was their paid consultant.

As the project advanced and each firm put forward a design for its building, it became clear to the client that the separate architectural solutions were poorly related. In a meeting at his New Haven office, Rudolph created a sketch that unified the composition of the various buildings into one site-wide configuration that he termed a "stake with a tail": the tower at its heart with low surrounding buildings linked by a central plaza. Based on this overall *parti*, in addition to being designer for the Lindemann building Rudolph was appointed the coordinating architect for the entire site, responsible for producing design guidelines for all three buildings as well as the public spaces.

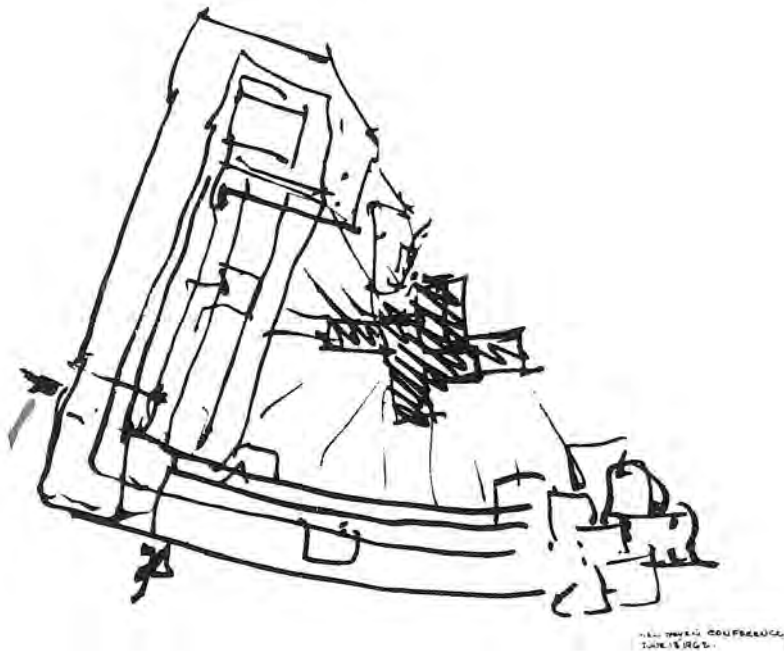


Figure 3.2: Paul Rudolph's 1962 "napkin sketch" showing the BGSC concept. The dark-colored tower in the center is the "stake", and the surrounding lower blocks form the "tail."

Design Principles

Rudolph's plan for the complex envisioned an enclosed courtyard with radiating paving patterns and staircases rising from covered parking below, all at the base of what would have been a dramatic tower. The well-defined, enclosed plaza was intended as a reaction to the openness of City Hall Plaza and similar spaces proposed by International Style modernist architects at the time. In Conversations with Architects (Cook & Klotz, 1973), Rudolph referred to his conceptual design intent to define the site's street edges strongly and to differentiate between pedestrian and automobile scales:

"The [BGSC] deals with a heightening of the scale around the perimeter and a diminishing of the scale at the courtyard. The perimeter at the street is large: The pedestrian interior courtyard terraces are scaled down. The use determines the scale as well as its place in the cityscape."

The larger exterior scale is defined by monumental colonnades, bold concrete piers, large projecting elements, and a flat story-height 'cornice' band at the uppermost level. The Staniford Street colonnade was composed in relation to views from moving vehicles. The rhythm created in passing the 3-story piers in a car is very different from the opaque pedestrian views up and down Staniford Street. The twenty-four-story HEW tower was planned to be set directly onto New Chardon Street, further reinforcing the height of the site perimeter.

By contrast, the interior courtyard facade steps down in section to a smaller, one-story pedestrian scale at the plaza. Rudolph explained the courtyard as a "bowl," the negative of Beacon Hill two blocks away. The courtyard provides entry points to most facilities from a uniform level at the base of this bowl, whereas the surrounding streets all follow the natural slope at the bottom of Beacon Hill. Rudolph emphasized this effect by designing the courtyard as a slightly sloping hardscape with planters, all focused toward the base of the anticipated central tower.

Rudolph's design also attempts to integrate into the surrounding city fabric. The BGSC buildings are set back at principal street intersections to form outward-looking "plazas" of hard landscape with planters composed to complement the building facades. A double row of trees at Cambridge Street and cluster of trees at the intersection of New Chardon and Merrimac Streets helped define these plazas on the site plan. The site was also composed to frame existing views; the Hurley Building's Cambridge Street facade is angled to preserve view of Asher Benjamin's Old West church from the east.



Robert Perron

Lindemann-Hurley from the north.

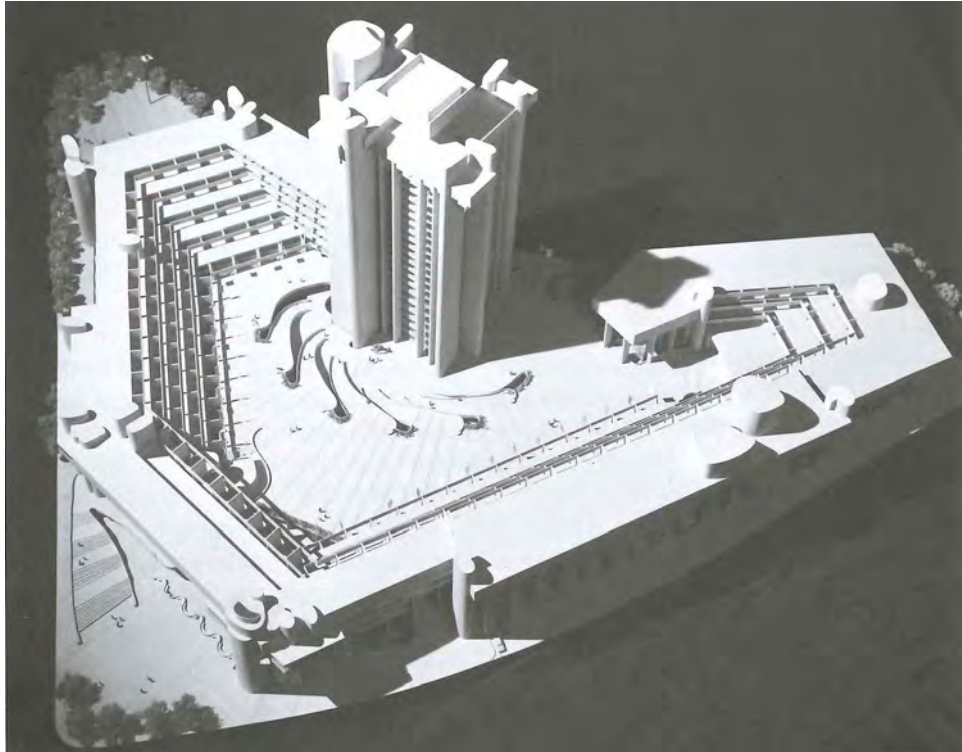


Figure 3.3: 1963 Rudolph model photo showing full site development, with HEW low block and tower at the top of the image.

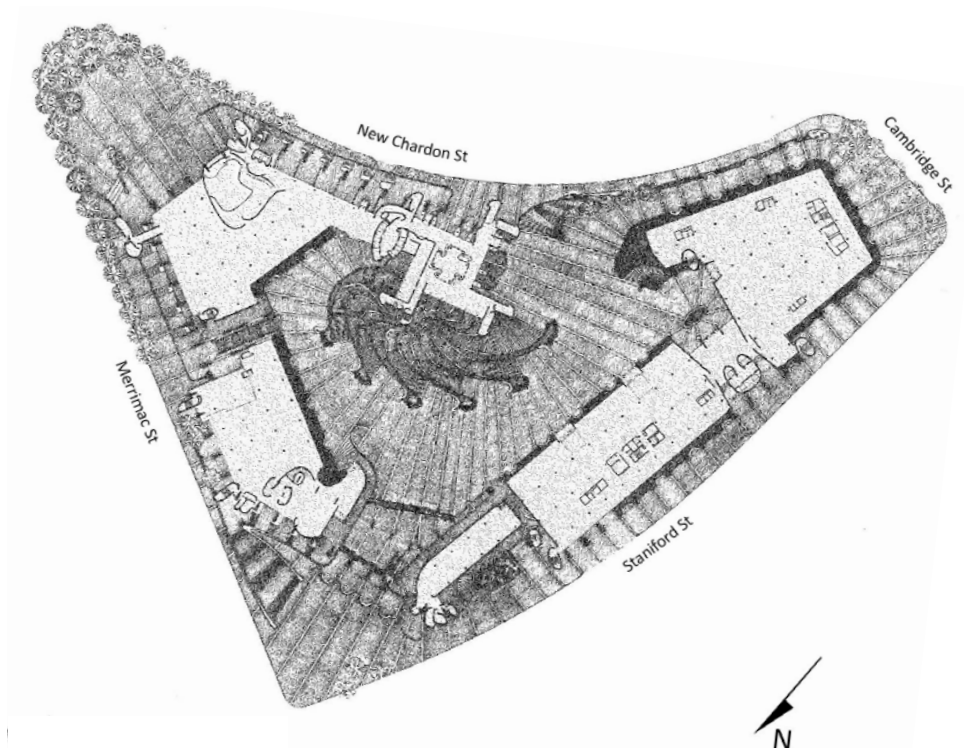


Figure 3.4: 1963 full site plan by Rudolph team.

RUDOLPH'S ORIGINAL DESIGN GUIDELINES

The firms working on the project were unanimous in their agreement to create a single coordinated design for the site. Each architect agreed to follow Rudolph's guidelines, as follows:

1. The complex should define the space of Boston's irregular streets by placing buildings parallel to them.
2. It should define the irregular intersection of streets by setting the buildings back from the curb line to form small plazas.
3. All buildings should be entered through a central pedestrian courtyard.
4. The buildings paralleling the streets should be five to seven stories conforming roughly with the building height across the streets.
5. There should be one tower building to announce the government services center from a great distance and to allow the scale of the complex to hold its own with tall adjacent buildings.
6. The low buildings should meet the pedestrian court at a smaller intimate scale achieved by stepping back the walls of the low buildings on the courtyard side.
7. The street facade should be at a larger car scale.
8. At the street, regular bays with columns 60 to 70 feet in height should be used; the more intimate scale of the courtyard should have columns corresponding to the series of one-story high stepping facades.
9. The tower building should act as a pivoting point at the entry to the plaza and serve as its principal spatial element.
10. All architects should use the same material (concrete) and similar fenestration.

Note: Loss of the HEW tower affected guidelines 3, 5, and 9 retroactively.



Figure 3.5: Interior courtyard showing stepped facade (L4/5).



Figure 3.6: Perspective drawing by Jacoby of Rudolph's version of the planned HEW tower from Cambridge and New Chardon Streets.



a



Yukio Futagawa

b



DCAMM

c



d

Figure 3.7: The BGSC as-built.

(a) Site plan by Rudolph team showing built portions (Lindemann and Hurley buildings).

(b) Aerial view of the built complex from the south.

(c) Section photo of the courtyard facade of Lindemann (L4) and garage (G1/2) before construction of the Brooke Courthouse.

(d) Lindemann exterior at facade (L2).

The BGSC- As Built

The Lindemann Mental Health Center at the corner of Staniford and Merrimac Streets was designed under the direct leadership of Rudolph and the team at Desmond & Lord. It is the most complex and expressionistic portion of the original site's three buildings. The Hurley Building was designed within Rudolph's guidelines, but under the control of SBRA architect Jean Paul Carlhian. According to project architect James McNeely, Rudolph considered SBRA's design insufficiently dynamic. The HEW tower design was judged inferior, and Dyer, Pederson & Tilney was dismissed; Rudolph subsequently re-designed the structure.

Even after Rudolph's re-design, the tower and lower structures that formed the HEW Building at the corner of Merrimac and New Chardon Streets were never built. In spite of that loss, the site is extraordinary for its monumental massing and the continuity of its surface treatment over five acres of central Boston and along three major streets. Rudolph's urban design concept envisioned an enclosed courtyard with radiating paving patterns and staircases rising from parking below, all at the base of what would have been a dramatic tower. A well-defined, enclosed courtyard plaza was intended as a reaction to the openness of City Hall Plaza and similar spaces proposed by International Style modernist architects at the time. The courtyard plaza linked an access point at the intersection of New Chardon and Cambridge Streets across the site to a monumental stair down to Merrimac plaza that offered a route to North Station. The plaza and garage were left unfinished when the HEW tower was cancelled. The space between the unfinished eastern edge of plaza and garage became surface parking enclosed along New Chardon Street with a tall chain-link fence. As years passed, site security guards discouraged pedestrian access to the plaza and the monumental stair was closed off entirely. Falls from plaza levels through open light wells caused injuries that prompted temporary enclosure in 2013 with fencing that was replaced in 2019 by well-designed perforated steel panels.

In 1999, Kallmann, McKinnell, & Wood's Edward W. Brooke Courthouse was built on the vacant eastern portion of the site. The building occupies the area where the lower portions of Rudolph's HEW Building would have stood; the development also included a new elliptical park on the site of the planned HEW tower. Other additions include a new exterior elevator shaft, new stairs up from the new park to original plaza, new garage elevations including planters, and the New Chardon Street ramp in cast corrugated concrete installed as part of Edward W. Brooke Courthouse project.

In its current state, the BGSC has many critics among the wider public. Its management history has discouraged public access to the inner courtyard



Figure 3.8: Radiating paving of the courtyard.



Figure 3.9: Site completion without HEW Tower. 1980.

and use of its stairs and smaller plazas. Preservation advocates and architects are likely to voice the principal opposition to demolition, whereas the wider public might be more amenable to change. Some of Rudolph's major buildings have recently been demolished in other states (Florida, New York, and Connecticut). These losses from his built legacy have increased Rudolph's recognized significance, support for his projects, and the importance of his remaining work. The Edward W. Brooke Courthouse design created a new, intensively used pedestrian passage from Cambridge Street down toward North Station alongside the new park while by-passing the reopened courtyard plaza above.





PRESERVATION NARRATIVE

BGSG Complex- General

SIGNIFICANCE OF DESIGN ELEMENTS AND PRESERVATION PRIORITIES

The BGSC site incorporates several significant design elements, many of which correspond to Rudolph's prescribed design guidelines. The most obvious to pedestrians on site is the corrugated concrete finish of many of the exterior surfaces (the continuously ridged surfaces were broken to jagged edges by hand). The exterior is also defined by round-ended rectangular piers that establish the massing and rhythm of the facades along street frontages. Story-height panels visually unify all the uppermost stories of the buildings, though Lindemann features cornice bands between towers, whereas on the Hurley Building, towers are wrapped by the massive concrete cornice panels. Service areas such as stairs and bathroom blocks are articulated with vertical curvilinear towers which punctuate pronounced horizontal facades. On the interior of the site, the buildings are terraced to step down to the courtyard for a more pedestrian scale while incorporating tall flat concrete sunshades within each structural bay.

CURRENT CONDITION

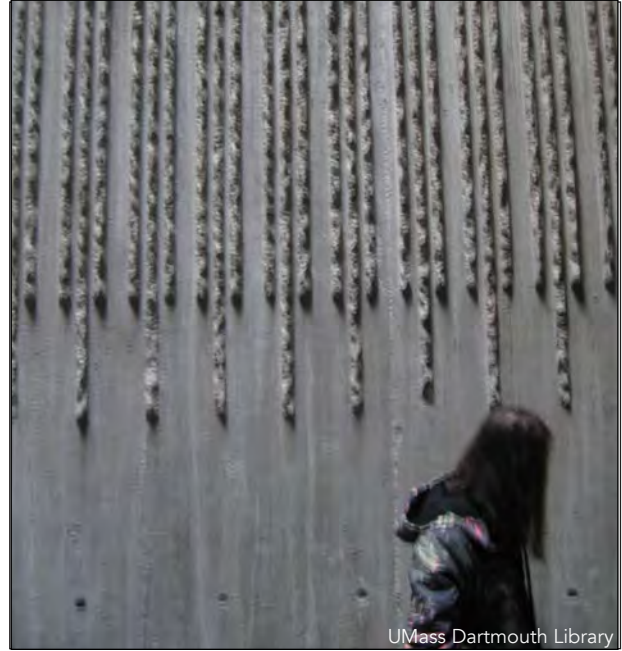
There are several general issues with the current condition of the BGSC complex as a whole. The buildings are not well climate-controlled; their obsolete HVAC systems are inefficient, and the large expanses of glazing lack low-E coating and contribute to uncomfortable heat gain. There is minor spalling at rebar locations with inadequate cover, and general degradation of concrete throughout the site. Until recently the complex did not meet many life safety and accessibility code requirements due to lack of compliant barriers at light wells and stairs, and a lack of tempered glazing or safety film on overhead glass within 25 feet of sidewalks or occupied roofs. Because of this, there is temporary life safety fencing on the plaza stair to Merrimac Street.



Figure 4.1: 2019 Protection at Plaza light wells



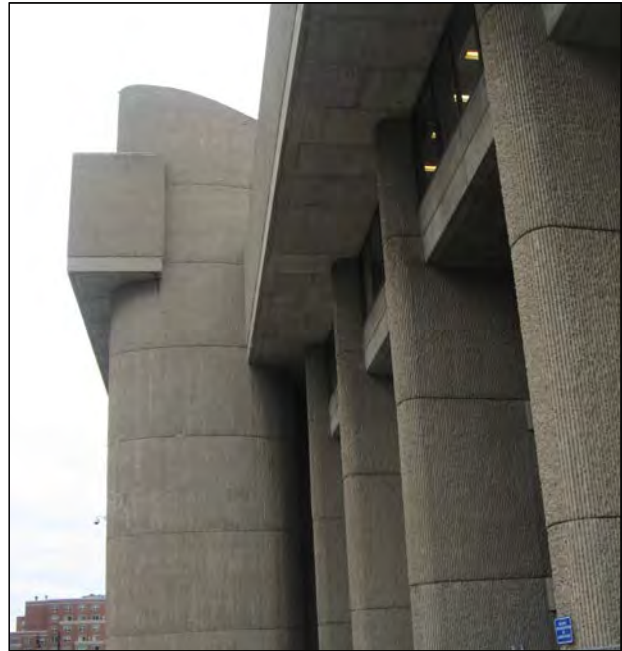
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Figure 4.2: BGSC Complex significant elements
 (a) Bush-hammered concrete texture.
 (b) Decorative use of bush-hammered concrete texture inside the Lindemann Building.
 (c) Cornice running between piers at the Lindemann Building.
 (d) Cornice wrapping the vertical piers at the Hurley Building.

Lindemann Building

CHARACTER-DEFINING ELEMENTS

Viewed from the north by drivers and pedestrians alike, the Lindemann Building reads as a singular composition. Its primary elevation is bracketed by tall enclosures for stairs and elevators. This composition includes a rectilinear cornice and glazed bridge below that frame a large opening and views into sky above the courtyard level (with no intermediate stair connection to the mezzanine level). A truly monumental, long curving stair passes into this opening from a widened start at the Merrimac Street plaza. Biomorphic volumes project from upper stories to command attention from afar; the “frog” face of the projecting north façade chapel is one example.

The Merrimac plaza was meant to step from sidewalk elevations on Staniford and Merrimac Streets down toward a fully glazed first floor, although there were originally no entrances to the mental health center in that elevation. The first-floor glazing allows for natural light and views from a café for occupants out to the Merrimac plaza. The continuous glazing of the first floor, which corresponds to the transparent bridge above that frames views through to the courtyard, stands in strong contrast to the bush-hammered, corrugated concrete that envelops the building at upper levels. Ribbon windows on the floors above are visually consistent with those of the attached Hurley Building. The Lindemann Building’s formal characteristics extend both east and west beyond the primary Merrimac Street elevation, but those facades are visually separated by projecting elevator and stair towers. These dramatic exterior stairs do not allow access to the mezzanine/garage level entrance of the Mental Health Center. Originally the main entrance to Lindemann was at the upper plaza level. There were at least three secondary entrances for specific functions within the building.

Lindemann’s interior is distinguished by a highly finished, spiraling concrete staircase and a multi-level chapel space—each of which employs decorative treatment of concrete surfaces using patterned contrasts built into the formwork. Equally heightened decorative treatments of concrete occur externally at the mezzanine level. Along Staniford Street there is another elaborate concrete stair connecting the exterior sidewalk to plaza level with a second-floor access point to Lindemann.



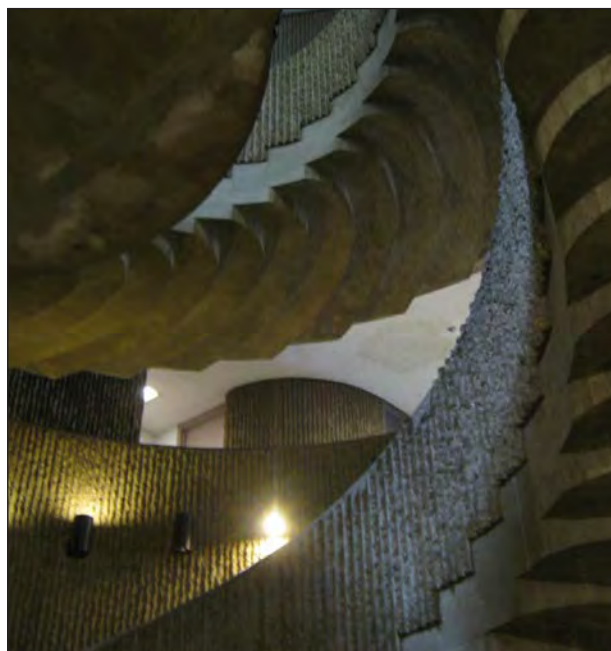
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Figure 4.3: Character-defining elements.

(a) L2 elevation showing the cornice, glazed bridge, and monumental piers which compose the facade.

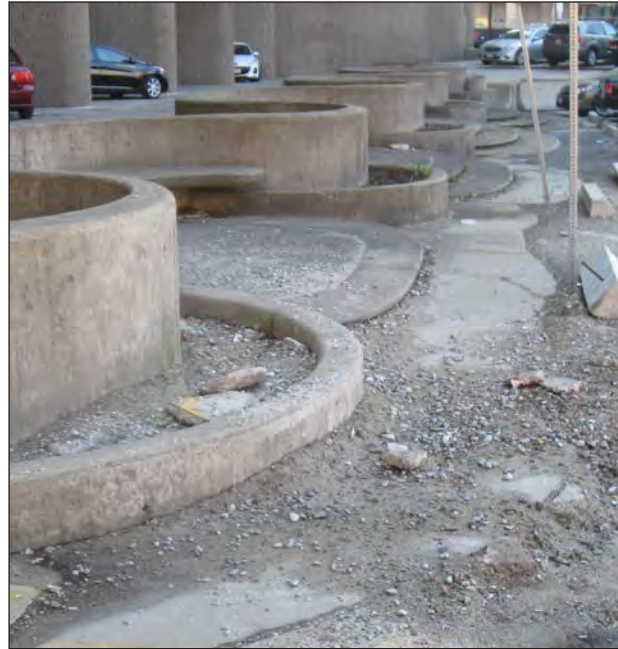
(b) L1 facade showing the projecting "frog" volume and grand stair.

(c) View from Merrimac plaza through Lindemann into the courtyard.

(d) Interior view of spiraling concrete stairs.



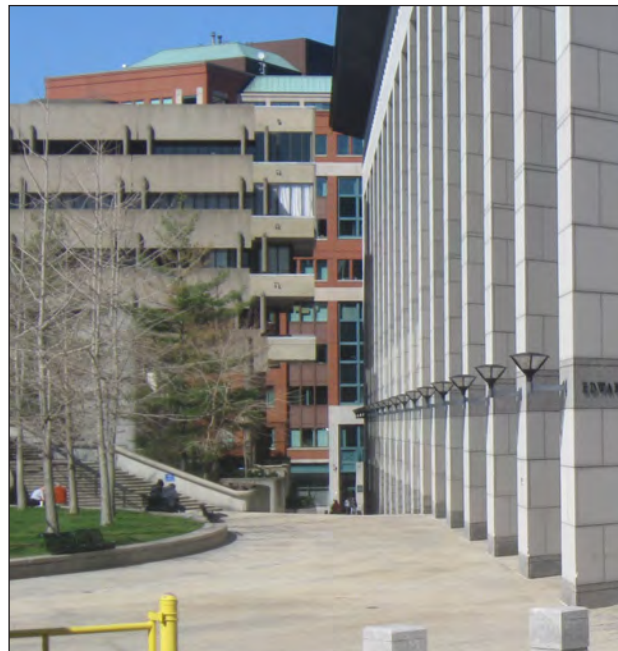
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Figure 4.4: Completeness and integrity.

(a) Formerly fenced-off grand stair at L1.

(b) Deteriorated curved wall and planters in Merrimac Plaza.

(c) The intended path through Lindemann into the courtyard.

(d) Current pedestrian shortcut between Lindemann and the Brooke Courthouse.

COMPLETENESS AND INTEGRITY

Externally the Lindemann Building is largely intact, though the deteriorated concrete surfaces on the grand external stair and throughout the Merrimac Street plaza are serious detracts to appreciation of Rudolph's elaborate composition. The grand gesture of the uninterrupted multi-story stair to the upper plaza courtyard is badly deteriorated and its original design no longer complies with codes governing life-safety or accessibility. It is because of this that the stair has been closed.

At the Merrimac Street plaza, Rudolph created a long, sinusoidal concrete wall with integral benches and planters set into a series of swooping curved steps and a patterned ground plane of contrasting textures. This arrangement has deteriorated and been modified almost beyond recognition, and is currently fenced off with adjacent space used for parking. Cars park immediately next to the ground floor façade without regard for adjacent architecture or interior uses. This condition is of great concern as this portion of the building represents the most significant and powerful remaining expression of Rudolph's design intent.

The original entrance to the Lindemann building from the interior courtyard is no longer used, as the steps indoors disconnect the plaza level from elevators added to address accessibility concerns. Today, the many original entrances to Lindemann are no longer used, and most clients and staff enter from the mezzanine level below—essentially through the upper level of the garage—at a station monitored by security personnel.

The loss of Rudolph's larger design for the HEW Tower and east end of the Lindemann Building allowed space for the Edward W. Brooke Courthouse to be built at the corner of Merrimac and New Chardon Streets. An arcade and uncovered pedestrian passage at the Brooke Courthouse now provide a shortcut from Cambridge Street to North Station. In Rudolph's original design, this traffic would have been channeled across the plaza, through the architectural opening and dramatic external stair, and out onto the Merrimac Street plaza.

The most significant loss of integrity is the incomplete realization of Rudolph's design. The unbuilt HEW tower is a fundamental loss. While the courthouse and its completion of the plaza and garage improved the eastern edge of the site, they do not correct the accumulated functional lapses of the Lindemann and Hurley buildings.



David L. Ryan, Boston Globe

Figure 4.5: Merrimac Plaza sinusoidal seating and pavement texture

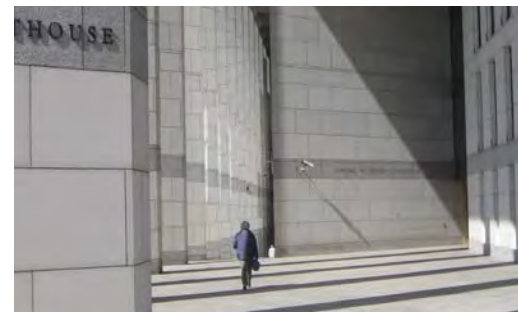


Figure 4.6: Courtyard arcade of the Brooke Courthouse.

Hurley Building

CHARACTER-DEFINING ELEMENTS

The Hurley Building is composed of two major facade types along the outer perimeter: a taller one that defines the edges of Staniford Street where it meets the Lindemann Building, and a second continuous profile that runs from the end of Staniford Street, along Cambridge Street, and returns down New Chardon Street. This second section appears to be a single, lower, simplified mass compared to the Lindemann building's complex curvilinear assemblies as well as the taller section of Hurley along Staniford.

The Hurley Building's main features include a series of massive piers at regular intervals around its edge with panels of vertical glazing recessed between them. In keeping with Rudolph's guidelines, a projecting cast concrete soffit with a one-story rectilinear cornice-like panel surrounds the block in its entirety at roof level, although SBRA altered the massing in two ways: (a) with a deeper cantilever on Staniford Street and (b) with the absence of enclosed lower floors to accentuate the height of columns where the building returns along New Chardon Street to the courtyard entrance. The repetitive nature of the colonnade of concrete piers as the primary facade treatment is an important character-defining element, but when the piers are taken together with the concrete texture, the impenetrability of the facades, the massive cornice, and the scale of columnar piers, the effect was "fortress like," as observed by Martin Filler in his February 5, 2015 *New York Review of Books* analysis of Timothy Rohan's book, The Architecture of Paul Rudolph, 2014, Yale University Press.

The Hurley Building approaches a widened sidewalk (mini-plaza) along its street frontages with curving concrete benches that enclose light wells. The benches provide southern-oriented public seating and act as a barrier between the pedestrian street and the building's light wells, which drop a full story. The first-floor slab of the Hurley Building only meets sidewalk level at the southeast corner near the intersection of New Chardon and Cambridge Streets. SBRA placed the entrances to the Hurley Building within the courtyard, with a single street-level connection through mid-block onto Staniford Street. The Staniford Street elevations of the Hurley Building are visually segmented by vertically projecting stair towers and elevator shafts. These correspond to the mid-block pedestrian entrances at the sidewalk.



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Figure 4.7: Hurley Building

(a) Multi-story piers and overhanging upper floors at H4 & 5. Note the warm tone of the concrete in sunlight.

(b) Meeting of facades H1 and H2 along Staniford Street, showing cornice wrapping vertical piers.

(c) H3 elevation on Cambridge Street. The first floor slab does not align with sidewalk and plaza levels.

(d) View along raised walkway along New Chardon Street that provides no entrance.



Figure 4.8: Courtyard facade at H7- distant.



Figure 4.9: Courtyard facade at H7- oblique prior to new steel balustrades.



Figure 4.10: Massive scale of Hurley at H3.

The plaza facades of the Hurley building continue some of the architectural motifs of the street facades, but the appearance is significantly less monumental. The pattern of massive vertical piers is typically reduced to two-story columns visible above the plaza which also extend below into the garage. The courtyard plaza experience alongside Hurley is dominated by the flat concrete shading device placed immediately above the windows of the first floor, as well as the plaza-level benches set off from the building by light wells.

A semi-cylindrical corrugated concrete downspout enclosure is attached to the end of each massive column. These elements combine to create an opaque perspective in which the Hurley Building appears uninviting and even inaccessible from the plaza courtyard. When entering the courtyard from Cambridge or New Chardon Street, the southern Hurley Building entrance is out-of-sight. The west entrance that passes through to Staniford Street is fully visible, although its double-height space is masked from the exterior. Within the two-story entrance lobby, an enclosed security station has been inserted.

Full-height glazing surrounds the courtyard but is recessed behind the six foot-high panels of precast concrete that form sun-shading devices at each level of the terraced roofs. These bands continue around the entire plaza courtyard, establishing the sense of spatial enclosure Rudolph desired. Treatment of the Hurley and Lindemann Buildings' courtyard massing and elevations are very similar. The rear of the Lindemann Building features tall truncated cylindrical masses containing systems, stairwells, and other services of the building. These are seen from the plaza courtyard entry as a vertical counterpoint to the flat terraces of stepped roofs. By comparison, the terraced bays of the Hurley building appear repetitive.

Taken as a whole, the southern portion of the Hurley building helps to demonstrate the enormous initial civic investment in the site, consistent in scale with Government Center, Boston University's central campus, Harvard's Peabody Terrace and Holyoke Center by Josep Lluís Sert, the Christian Science Center, and MIT's east campus precinct of buildings by I. M. Pei.

COMPLETENESS AND INTEGRITY

The Hurley Building is remarkably intact on the exterior. Concrete deterioration is far less prominent than at the exterior elements of the Lindemann Building's north elevation. Alterations within the Hurley Building elevator lobby did not affect the exterior of the building and no feature matches the architectural significance of the baroque interior stair within the Lindemann Building. Two walls of two-story high frescoes by Constantin Nivola are in the main lobby.

The Government Services Center was built before insulating glazing was readily available and before low-emissivity glass had reached the building industry. Occupants of office space with south-facing windows along Cambridge Street frequently apply reflective metal foils to the glass to reduce solar gain and glare. The uppermost floor of the Hurley Building that faces outward to streets is entirely without windows in order to establish the story-height cornice band of uninterrupted concrete. This design decision means spaces behind have little access to light or views. Partly because of this, the Hurley Building interiors do not work well for today's office needs. The space and its enclosure are unworthy of the building's prime downtown location, which should be Class A office real estate.

The opportunity cost of keeping the south portion of the Hurley Building intact may be very high compared to the value of its retention in terms of architectural preservation and urban experience. The lack of integrity in terms of Rudolph's original design intent now contributes to the argument that strict preservation of the Hurley Building facades is less meaningful than it would be if the tower existed. The terraced roofs surrounding the plaza and the terraced setbacks of their overall arrangement were a spatial response to the tower as well as a way to scale the outdoor space to pedestrians. The latter effect remains significant even in the absence of the tower.



Figure 4.11 Nivola fresco signature.



Figure 4.12: Fenced-off concrete bench at H1 prior to new steel balustrades.

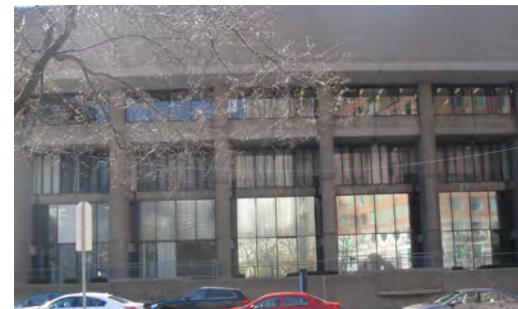


Figure 4.13: Reflective solar films on windows at H3 facade.

Garage

CHARACTER-DEFINING ELEMENTS

The garage is notable for the interior architectural treatment along its western edge. Its structural independence is announced through the nearly continuous light wells which line the edge between the garage ceiling and the adjacent buildings. Rudolph's bush-hammered concrete surfaces continue through the western edge of the garage interior with a series of portals that penetrate massive piers at attached structural downspout enclosures to frame a walkway lit from above through light wells alongside Hurley. Columns within the drive lanes are finished with board marked concrete and support a flowing, stepped section of ceiling slab at the underside of the plaza overhead.

The garage's placement in relation to the adjacent buildings' floor slab elevations and the sloping site made the sectional solution complicated to resolve. In simplistic terms, the roof of the garage forms the paved courtyard plaza above. The plaza connects directly to interior spaces in only a few instances, always flowing through control points at lobbies. Vehicle ramps ascend from the Staniford Street vehicle entry point and descend from the upper level of parking inside the garage to spaces on that level and one level below. There is also a dark, semi-concealed, sloping pedestrian walkway that connects the Staniford Street sidewalk to the upper level of the garage and to the mezzanine entrance of the Lindemann Mental Health Center. This slightly raised walkway emerges at plaza level open to the sky with views of the Lindemann Building overhead.

COMPLETENESS AND INTEGRITY

The two-level garage was an integral element in the design solution for the BGSC. It was composed in direct relation to the HEW tower and remained incomplete along its eastern edge until the Edward W. Brooke Courthouse was built. Except for the current east elevation, this was part of Rudolph's personal design work. When the HEW Tower was removed from the project, its site on New Chardon Street sat unoccupied and fenced away from public access for years. Eventually, the Edward Brooke courthouse created an elliptical park with a pair of side-by-side pedestrian thoroughfares, one covered as part of an arcade, one not. This pedestrian route offers an efficient passage to the area of North Station from elsewhere in Government Center and from Beacon Hill.

The east elevation of the garage and stairs linking the new park to the plaza were designed and built as part of the Edward W. Brooke Courthouse project. Both levels of the garage are visible across the park from New



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Figure 4.14: Garage

(a) Garage elevation G1 with stair, planter, and balustrade built as part of the Brooke Courthouse project.

(b) Interior arcade (G2) formed by openings in piers at Garage level. This walkway leads to the mezzanine/garage level entrance of Lindemann.

(c & d) Lindemann building mezzanine entrance approach via upper level of Garage.

Chardon Street. The visual presence of parked cars is minimized by new corrugated concrete balustrades set behind a long concrete planter with two new concrete stairs that climb to plaza level. The new construction directly utilizes cast-in-place, unbroken, corrugated concrete that attempts to replicate the bush-hammered broken surfaces of Rudolph's original. Although well-resolved, none of this fulfills what Rudolph's original plan envisioned as a continuous lower form along New Chardon to further define edges of the site and the HEW Tower rising from a series of curved staircases leading from the garage levels below the place.

Site and Circulation

CHARACTER-DEFINING ELEMENTS

Rudolph conceived the BGSC site as a continuation of the slope down from Beacon Hill and considered the concave space of the plaza courtyard as a complementary, bowl-shaped inversion. It is not clear what the outward looking mini-plazas at the three site corners were meant to address, but the long arrays of benches facing the sidewalks suggest that he visualized more sidewalk activity than the buildings' entrance placements and pedestrian desire lines can mobilize.

The Hurley and Lindemann Buildings define the edges of the interior courtyard but are structurally separate from it and from the garage below. The courtyard plaza is a walkable extension of the New Chardon Street sidewalk, although it slopes gently down toward the site of the unbuilt tower. The courtyard was always intended to be set apart from the commotion of busy streets, but it is especially so without the tower's presence on the skyline to attract attention from afar as well as to activate the space. The courtyard is secluded but offers striking views to the stepped facades and towers of the Lindemann Building.

COMPLETENESS AND INTEGRITY

Compared to the Rudolph "stake and tail" design concept, the built BGSC is fundamentally incomplete. This deserves to be considered in any discussion of its historic integrity.

The unbuilt HEW Tower was meant to be twenty-four stories with additional rooftop elements totaling about 300 feet tall. Rudolph intended this tower to be the architectural centerpiece of the entire 8.5 acre site. The inward looking, outdoor space of the plaza and terraced stepping-back of both the Hurley and Lindemann portions of the complex were predicated on views and circulation from the plaza to the tower. Because no entrance or views through to the plaza from Cambridge Street were created, the loss of the tower left the plaza with no visual announcement to pedestrian traffic from Beacon Hill, Government Center, or up the hill from Charles Street and Mass General Hospital. The Hurley Building conceals the plaza courtyard elevations from the main thoroughfares and lacks any visual marker for the few entrance points that could activate the depopulated courtyard. The tower would have also brought hundreds and hundreds of additional workers to the site every day. It is presently underpopulated.

The loss of the tower seriously compromised the circulation and landscape concept for the complex as a whole while heightening the negative impact of the Hurley Building on the adjoining streetscape. Its loss has made the



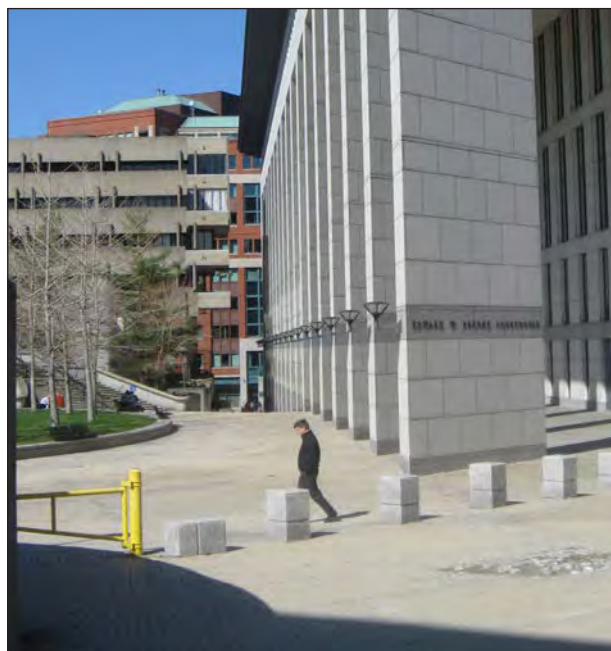
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Figure 4.15: Site and circulation.

(a) Brooke Courthouse Park with view to the Hurley building, center.

(b) New stair leading to courtyard in from of Lindemann elevation L4.

(c) Entrance to courtyard through Hurley Building; note SBRA design which held back lower floors.

(d) Brooke Courthouse arcade at east edge of courtyard where the HEW tower was meant to be.



Figure 4.16: Impenetrable facade on Cambridge Street (H3).



Figure 4.17: Intersection of Merrimac and New Chardon Streets in front of the Brooke Courthouse.

Hurley Building's lack of a Cambridge street entrance a major urban design flaw, addressable only by reconfiguration that would require some degree of demolition and new construction. Furthermore, discrepancies between the levels of the sidewalks at Cambridge and Staniford Streets and the first-floor slab inside the building complicate direct entrances at points other than the southeast corner of the Hurley Building at Cambridge Street.

The unrealized extent of Rudolph's site design at the intersection of Merrimac and New Chardon Streets is significant, although perhaps less important than the absence of the HEW Tower. The scale of Rudolph's unrealized mini-plaza at Merrimac and New Chardon Streets suggests that he expected that location to be the main entrance to the lower HEW Building, though his original plans show multiple large stairs along the base of the unbuilt perimeter building. One fully walled section stands today at Lindemann in front of the gymnasium facing Merrimac Street, and a secondary sculptural stair on Staniford similarly interrupts the possibility of street animation from within the building. These barriers further emphasize the impenetrable nature of the buildings' sidewalk presence throughout the site.

Due to the steep slopes of Staniford and New Chardon Streets down from Cambridge Street, the interior courtyard is two stories above Merrimac Street. Rudolph's solution was to link these two levels via the dramatic, almost baroque stair, but its height and winding nature have always meant a diminished use compared to more straightforward pedestrian routes. Today this grand stair and the expected pedestrian sequence have been closed off and Merrimac Street's expressionist plaza made into a parking area. The Edward W. Brooke Courthouse maintains a somewhat reduced version of Rudolph's paved mini-plaza at the intersection of Merrimac and New Chardon Streets, but without the major stair linkages planned by Rudolph.

At the upper courtyard, Rudolph had planned for access to the HEW Tower via a spiraling cascade of five semi-concentric external stairs rising up from the parking levels below. None of these were built. Instead, the courtyard pavement simply follows the roof of the garage's curving form; stairs and a new elevator were eventually added down to the new park and Edward W. Brooke Courthouse.

In general, access into and through the BGSC site is limited, circuitous, and confusing. There are no direct pedestrian entrances to the BGSC buildings

from Cambridge or New Chardon Streets, which are therefore not well activated. The plaza courtyard and several entrances are hidden from view except from New Chardon Street Park, and the garage/mezzanine entrance to Lindemann Center is also hidden. Interior circulation and way-finding are challenging and have been compromised by changes in the Lindemann Building. Service vehicle access is limited to the Staniford Street loading docks and general garage levels.

There is little connection to the neighborhood at Staniford and New Chardon Streets in spite of recessed pedestrian entrances. For pedestrians, there is no legible path across the plaza courtyard from Cambridge Street towards North Station. Passage across the site would require walking up one flight of steps from New Chardon Street to the plaza level and then down two flights of steps to the lower street levels along Merrimac, whereas the pedestrian route adjacent to the courthouse provides direct sloping access.

The extensive tree planting originally proposed along the unbuilt frontages at Merrimac and New Chardon Streets and along Cambridge Street never happened. Site landscaping is limited to concrete pavement, small street trees at Cambridge Street, and after 1999, views of the New Chardon Street Park; the planters and vegetation designed by Rudolph have not been maintained.



Figure 4.18: Entrance to pedestrian walkway to courtyard on Staniford Street (L7).

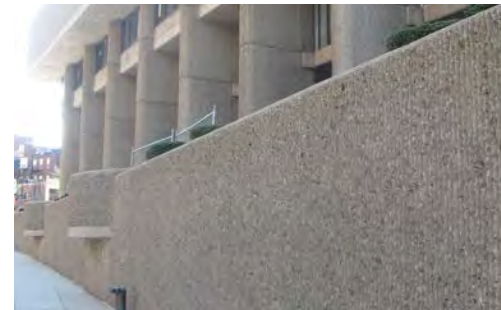


Figure 4.19: Pedestrian view of H4 on New Chardon Street.





RECOMMENDATIONS

Recommendations

Given the historical and architectural complexity of the BGSC site, preservation and development efforts should be carefully developed. The simple argument against any significant demolition is that the BGSC's connected buildings and site design were Rudolph's response to a special period of investment in the government of the Commonwealth that aimed to re-activate its capital city. Its place in the history of urban renewal, so the argument goes, should be recognized and the site preserved as is.

A deeper and more nuanced counter argument would acknowledge the fact that major design elements from Rudolph's original vision were never built and that differences in authorship and architectural quality between the Lindemann and Hurley Buildings should be recognized. The BGSC facades unfold sequentially around the site, each with significant differences in terms of urban design character and value. The site is zoned for a floor area ratio of 8–10, but because the proposed 23-story tower was never built, its real estate potential is vastly underdeveloped.

RECOMMENDED GUIDELINES FOR PRESERVATION AND EXPANSION

In view of the current condition of the BGSC site, its continued architectural and historical significance, and the varying integrity of its buildings and components, Bruner/Cott Architects makes the following recommendations for any future development of the site:

1. All rehabilitated and reconstructed architectural structures should be treated according to the *Secretary of the Interior's Standards for Rehabilitation*.
2. Pay special attention to the individual character of each building elevation between transition points (i.e. changes in street alignment and views blocked at street level by projecting stair and elevator towers).
3. In keeping with Rudolph's original design, new high-rise buildings could complement the preserved parts of the site. New designs should maintain a lower roofline at Cambridge Street, which relates to adjacent Beacon Hill.
4. Consider re-establishing a street or pedestrian link across the site from New Chardon Street to Staniford Street to emerge at the party wall between Lindemann and Hurley Buildings. This would involve significant demolition and re-planning within the garage.
5. The courtyard and garage below could be radically reconfigured to allow for a new street or passage across the site, as the plaza-level courtyard lacks real meaning and activation without the HEW tower. Ideally the rhythm of columnar elements would be unaltered and key character-defining elements retained. This would likely accompany major new

construction.

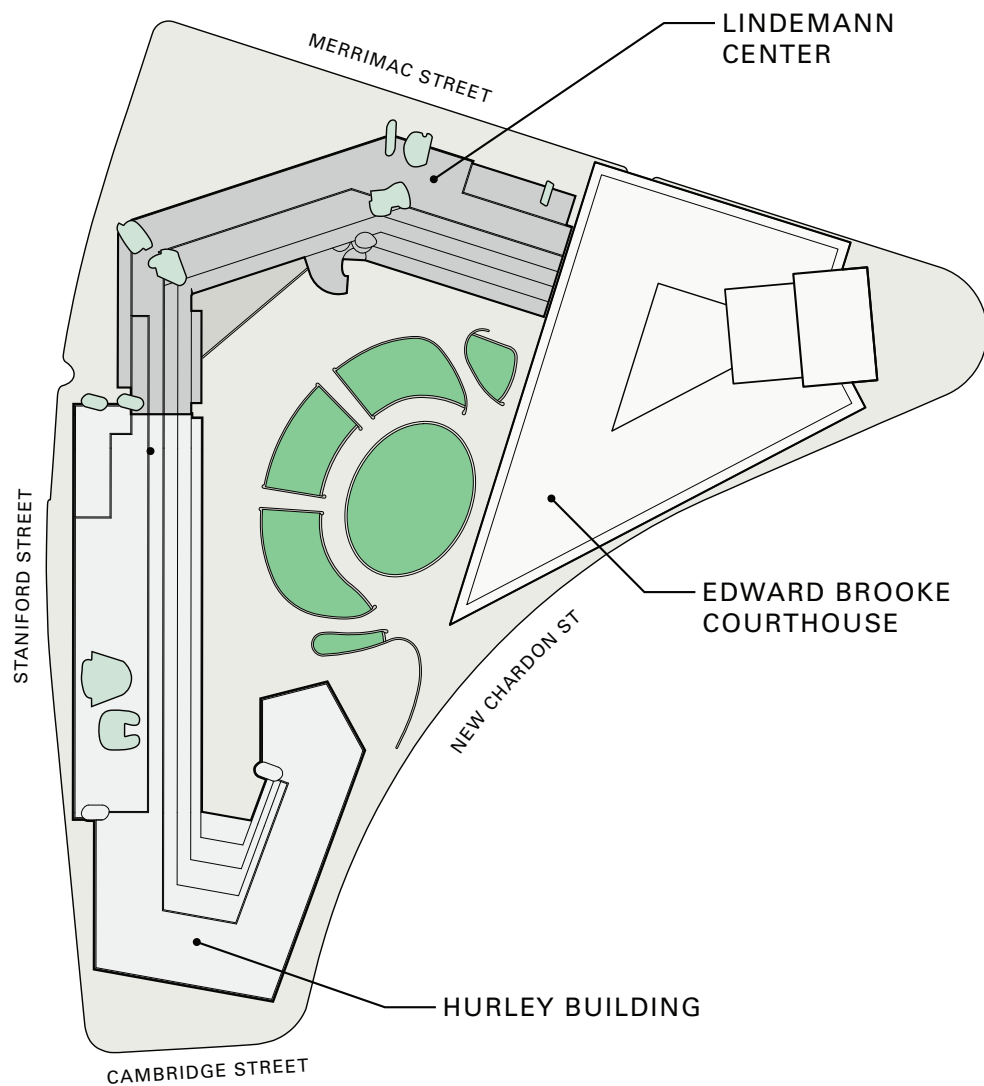
6. Preservation efforts should focus on the Lindemann Building, especially the Merrimac plaza facade, the Merrimac plaza, and the Staniford Street facade.
7. The north facade of the Lindemann building retains its architectural drama and complexity, but most of the interior spaces can be cleared of lath-and-plaster partitions and re-purposed, while the baroque interior stair, chapel, and other key figurative spaces should be protected.
8. If all or part of the garage is demolished, Rudolph's grand stair to the courtyard level should be re-worked to clarify its arrival point and place in site circulation.
9. Design may consider removal of sections of the Hurley building to allow for new construction.
10. The Hurley Building facade along Staniford Street might remain even if other portions of the Hurley building are removed. It is a powerful continuation of the Lindemann vocabulary, though it lacks the plasticity of Rudolph's design and is not an engaging facade for pedestrians. Together with the Lindemann facades, its monumentality communicates the scale of Rudolph's vision for the site and the extent of the Commonwealth's investment in government services.
11. If the massive colonnades of structural piers at H1 remain intact, the recessed glazed enclosures between them could be changed without detracting from the original design intent. This could add space and activate the adjacent street frontages, although the slab levels do not easily coincide with existing sidewalk elevations.
12. Where facades remain intact, original fenestration pattern and visual detail should be maintained where windows are replaced for thermal improvement of the building envelope.
13. Study replacement of the opaque concrete top floor of the Hurley Building along Staniford, Cambridge, and New Chardon Streets. A screen of the same dimensions and comparable tonality could allow natural light and view to make the interior space more usable while honoring Rudolph's design guidelines.
14. Confirm how the Constantino Nivola fresco murals in the main lobby are constructed to assess feasibility of relocation within the site. Note the advantage of their retention as part of Scenarios A and B.



06 DEVELOPMENT ALTERNATIVES

Existing Site

Lindemann Center, Hurley Building, Oval Park, and Edward Brooke Courthouse



EXISTING SITE
EXISTING HURLEY GSF: 327,022 SF

Site Development Alternatives

Bruner-Cott and Stantec examined the following four development scenarios to evaluate the implications of each for historic architecture, urban design and streetscape, and new construction associated with preservation of different sections of the Hurley Building. There is one alternative that contemplates minimal demolition (Alternative A), two that contemplate intermediate amounts of demolition (Alternatives B and C), and one that contemplates total demolition of the Hurley Building (Alternative D). The analyses regarding which portions of the building to remove in Alternatives A, B, and C consider structural and technical feasibility, historic significance, and architectural quality- especially the recommendations outlined in Chapter 5 of this report. Development potential is directly derived from existing zoning for the site and expressed in terms of maximum height allowed for different areas within the boundary indicated on the four scenario plans.

These alternatives are not meant to be an exhaustive study of all of the ways that the site may be redeveloped but instead are meant as radically different scenarios that allow the testing of potential outcomes for a broad range of approaches. The goal was not to design buildings for each scenario, but to look for major differences of impact. All four diagrams assume that new development will adhere to the site's height limitations set by current zoning .

All four scenarios show a passageway at the northern boundary of the site, consistent with recommendation 4. This may be a vehicular or pedestrian passageway - or something even more notional - but Bruner/Cott and Stantec think that this passage through the superblock will be an important benefit of DCAMM's redevelopment of the site, especially in light of the circulation and streetscape challenges detailed in Chapter 4. Those challenges largely result from the incomplete realization of Paul Rudolph's original design for the entire site with its tower. Introducing this passageway will present sectional challenges (raised in recommendation 5), as it cuts across the elevated plaza and the underground garage. The portion of the plaza that serves as the landing area for the grand staircase through the Lindemann building will have to be re-thought as it is retained-even as other portions of the plaza are removed.

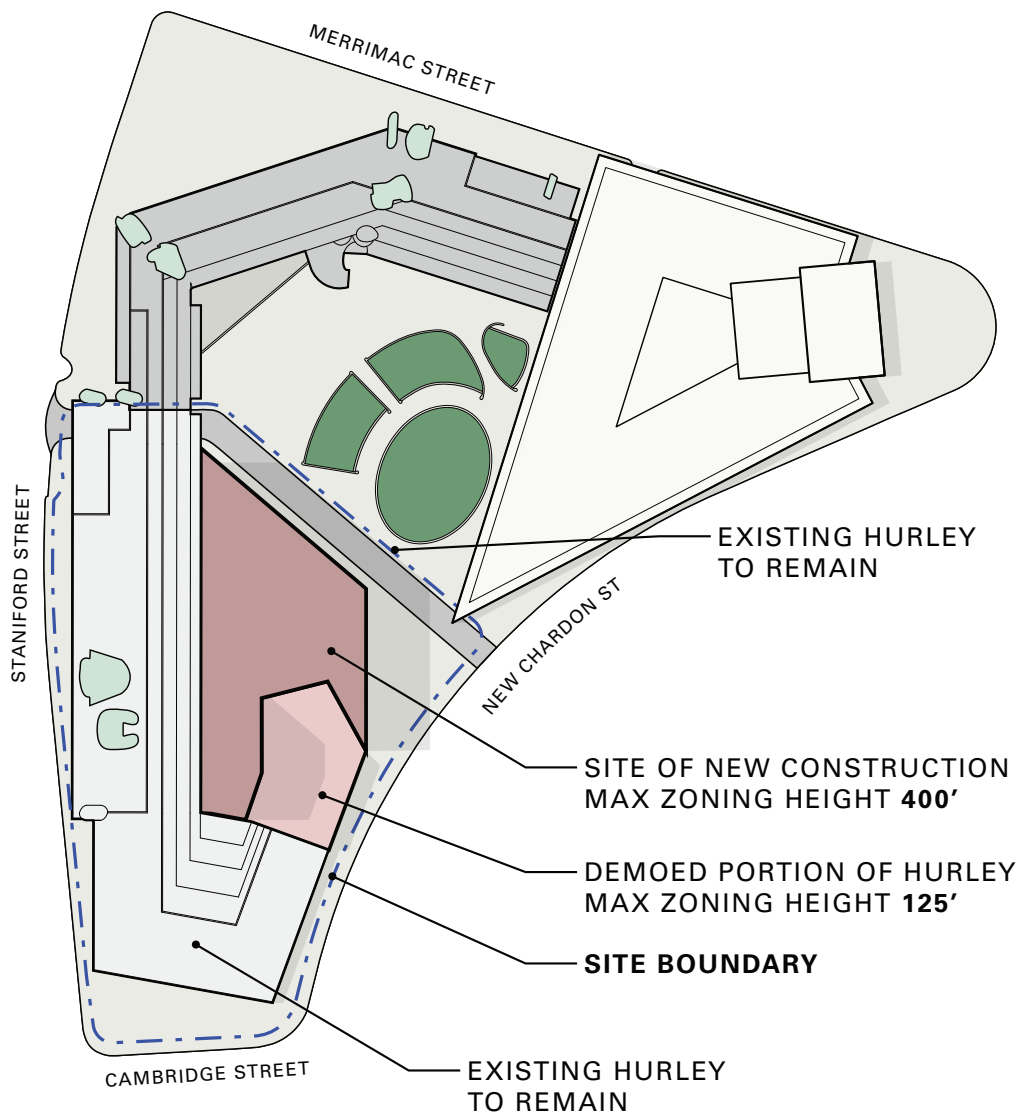
All four scenarios would allow for recommendations 6, 7, and 8 regarding preservation of the Lindemann Center building to proceed. The south facing Lindemann terraces and elevated cores remain visible across the oval park and passage along the Brooke Courthouse.

Although a preliminary financial analysis was performed for each of the scenarios, it is impossible to determine at this point exactly how well (or even if) each would meet the Commonwealth's requirement of ensuring long-term occupancy at reduced cost to the state. This is especially a concern with Scenario A, where our analysis shows the least potential for new development.

Hurley Building Partial Demolition

REMOVE NORTHEAST RETURN OF NEW CHARDON STREET PORTION OF HURLEY BUILDING. BUILD NEW HIGH RISE ON HURLEY PLAZA. INTRODUCE CROSS-SITE WAY THROUGH COLONNADE AT STANIFORD STREET.

A



SCENARIO A
EXISTING HURLEY GSF: 298,400 SF

Hurley Building Partial Demolition



This scenario retains nearly 300,000 of the Hurley Building's 327,022 square feet. The Hurley Building portion at the northeast end on New Chardon Street is removed - a portion of what is contemplated by recommendation 9. That portion of the site would now be open to new construction - presumably high-rise, although a small portion of the now-buildable site is zoned for mid-rise.

PRESERVATION CONSIDERATIONS

- Cambridge Street facade remains.
- Staniford Street entrances to Hurley Building, existing lobby and Nivola mural remain, as suggested by recommendation 10.
- Concrete colonnade along Staniford Street remains intact with a limited opportunity for improved street frontage for pedestrians, as contemplated by recommendation 11.
- New construction must connect effectively with remaining Hurley Building's courtyard facades and lobbies. Terraces north of the main lobby [see elevation H7 on page 11] may be considered for alteration separately from the Staniford Street colonnade.
- Loss of elevated floors, passage, and suspended sculpture at Hurley Building's courtyard entrance.

URBAN DESIGN CONSIDERATIONS

- Issues of wayfinding and street-level activation would need to be addressed primarily through adaptive reuse of the existing building, given that most of its footprint remains. This will be challenging given the site's steep slope down from Cambridge Street and the very few locations where the floor slab meets sidewalk grade.
- Opportunities to introduce new or improved open space will be limited by the existing building's footprint.
- The passageway through the site is routed through the remaining building in this scenario, creating technical challenges and added expense but possibly reducing negative perceptions of the superblock.

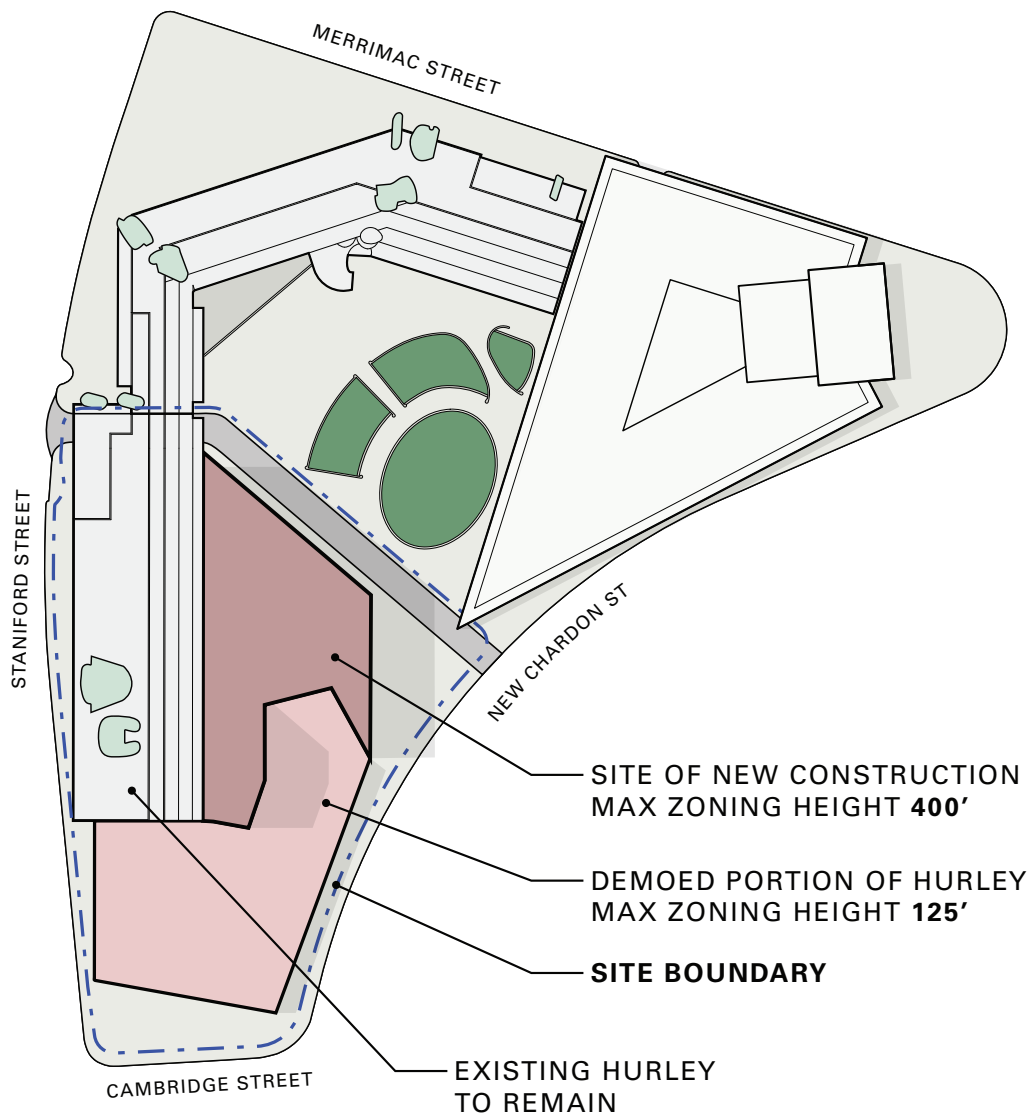
DEVELOPMENT CONSIDERATIONS

- It may be difficult to create a commercially viable floor plate within the now-buildable portion of the site.
- In order to create a commercially viable mid-rise floorplate, the Hurley terraces may need to be removed or altered to be integrated into adjacent new construction.
- Retaining the Cambridge Street portion of the building entails an opportunity cost, as the existing building on that portion of the site is several stories lower than what could otherwise be realized.
- This scenario is the least likely to create enough new square footage to sufficiently offset the Commonwealth's on-going costs of occupancy at the site.

Hurley Building Partial Demolition

REMOVE NEW CHARDON STREET AND CAMBRIDGE STREET PORTIONS OF HURLEY BUILDING. BUILD NEW HIGH RISE ON HURLEY PLAZA AND A LOWER BUILDING ON CAMBRIDGE STREET. INTRODUCE CROSS-SITE PASSAGE THROUGH COLONNADE TO STANIFORD STREET.

B



SCENARIO B
RETAINED HURLEY GSF: 207,700 SF

Hurley Building Partial Demolition



The Hurley Building sections along Cambridge Street and at the corners of both Staniford Street and New Chardon Street will be removed, as suggested by recommendation 10. Two new buildings could be accommodated on the remainder of the site - a high-rise along New Chardon Street - as in Scenario A - and an additional mid-rise building along Cambridge Street.

PRESERVATION CONSIDERATIONS

- Staniford Street entrances to Hurley Building, existing lobby and Nivola mural remain, as suggested by recommendation 10.
- Concrete colonnade along Staniford Street remains intact.
- Loss of elevated floors, plaza entrance passage, and suspended sculpture at Hurley Building's courtyard entrance.
- New construction must connect effectively with remaining Hurley Building's courtyard facades and lobbies. Terraces north of the main lobby [see elevation H7 on page 11] may be considered for alteration separately from the Staniford Street colonnade.

URBAN DESIGN CONSIDERATIONS

- The removal of the Cambridge Street section provides an opportunity to activate this portion of the site along its street frontage. New construction along Cambridge Street must relate well to lower buildings at Beacon Hill.
- Improving the pedestrian experience along Staniford Street (as contemplated in recommendation 11) will be challenging, given the site's steep slope and the very few locations where the floor slabs meet sidewalk grade.
- The passageway through the site is routed through the remaining building in this scenario, creating technical challenges and added expense but possibly reducing negative perceptions of the superblock.

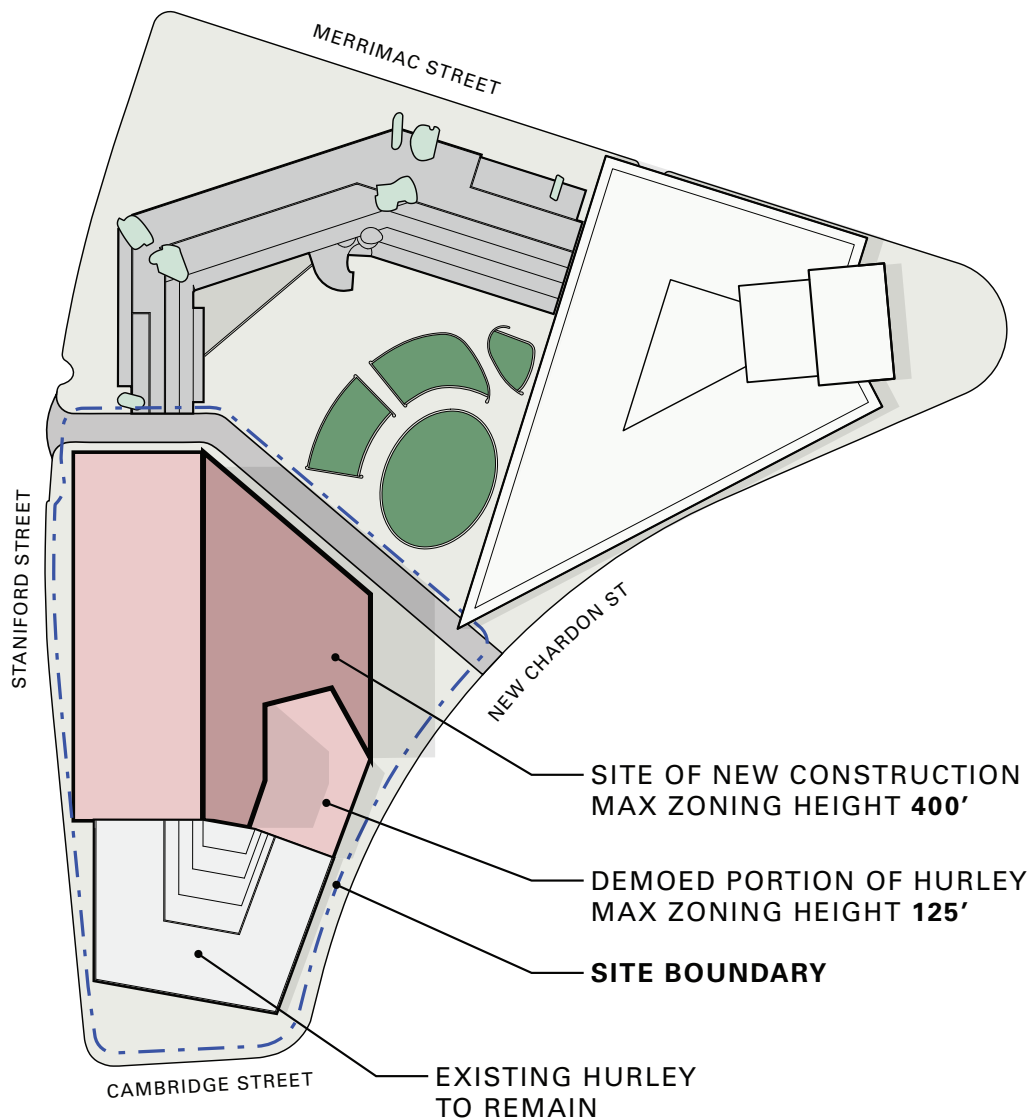
DEVELOPMENT CONSIDERATIONS

- The footprint available for new construction will cause difficulty creating "right size" floor plates. It may be difficult to create a commercially viable high-rise floor plate within the now-buildable portion of the site.
- In order to create a commercially viable mid-rise floorplate, the Hurley terraces may need to be removed or altered to be integrated into adjacent new construction.

Hurley Building Partial Demolition

RETAIN CAMBRIDGE STREET PORTION OF HURLEY BUILDING. REMOVE NEW CHARDON STREET AND STANIFORD STREET PORTIONS OF HURLEY BUILDING. BUILD NEW HIGH RISE ON HURLEY PLAZA WITH PODIUM ACROSS THE SITE FROM STANIFORD STREET TO NEW CHARDON STREET. INTRODUCE CROSS-SITE WAY TO STANIFORD STREET.

C



SCENARIO C
RETAINED HURLEY GSF: 73,550 SF

Hurley Building Partial Demolition



The Hurley Building facade, massing, and wide plaza along Cambridge Street will remain. The Hurley Building portion adjacent to Lindemann Center along Staniford Street is removed (concrete colonnade) and replaced with new construction.

PRESERVATION CONSIDERATIONS

- No continuity between Hurley Building and Lindemann facades remains; new construction adjacent to Lindemann Building would need to be carefully scaled.
- Loss of Hurley Building lobbies and Nivola mural (may be relocated, if feasible).
- Loss of elevated floors, passage, and suspended sculpture at Hurley Building's courtyard entrance.
- Historic frontage remains visible along Cambridge Street and from Beacon Hill.

URBAN DESIGN CONSIDERATIONS

- Successfully breaks up superblock.
- Large development area on the northern portion of the site may provide opportunities for new or improved open space associated with the passageway.
- The removal of the Staniford Street section will provide increased opportunity to improve the pedestrian experience on that portion of the block.
- Negative pedestrian experience along Cambridge Street would not be addressed without large-scale, expensive restructuring of slab levels to allow for a street-facing entrance.

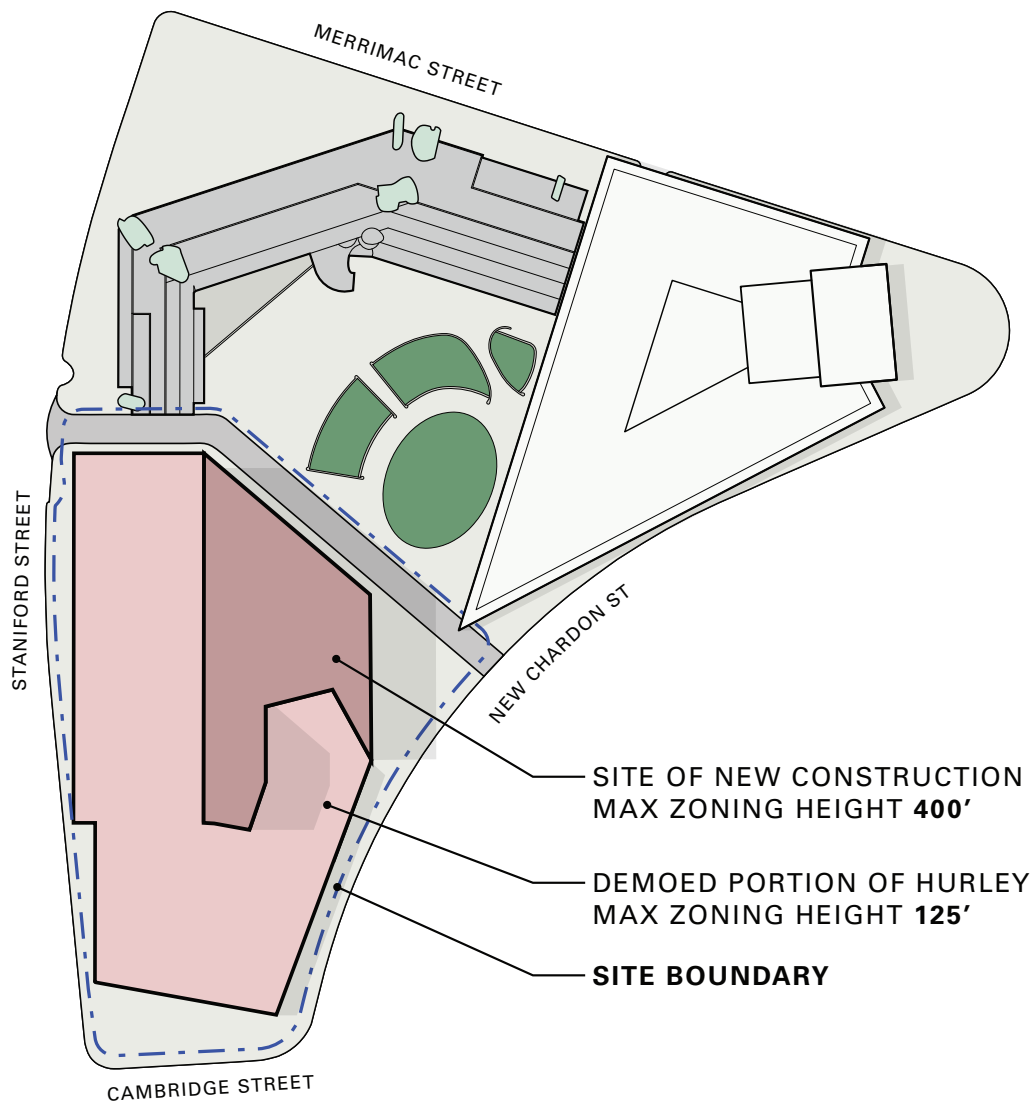
DEVELOPMENT CONSIDERATIONS

- This scenario entails high costs to address connectivity, structural, and urban design issues with the retained portion of the building.
- It appears difficult to create a commercially viable high-rise floor plate within the now-buildable portion of the site.
- Retaining the Cambridge Street portion of the building entails an opportunity cost, as the existing building on that portion of the site is several stories lower than what could otherwise be realized according to zoning.
- The 73,550 square feet of existing Hurley building that is retained will leave the developer with either a small-size building for the area, or the need to create a large addition to it as part of the redevelopment approach. In order to create a commercially-viable mid-rise floorplate, the Hurley terraces may need to be removed or altered to be integrated into the new construction portion of the site.

Hurley Building Full Demolition

BUILD NEW HIGH RISE ON PLAZA WITH LOWER BUILDINGS REPLACING HURLEY IN ITS ENTIRETY. INTRODUCE CROSS-SITE PASSAGE TO STANIFORD STREET.

D



SCENARIO D
RETAINED HURLEY GSF: 0 SF

Hurley Building Full Demolition



This scenario removes the Hurley Building entirely, providing for maximum flexibility in redevelopment.

PRESERVATION CONSIDERATIONS

- Scale of the original BGSC construction is lost although Lindemann Center remains; new construction adjacent to Lindemann Building would need to be carefully scaled.
- No continuity between Hurley Building and Lindemann facades remains.
- Loss of Hurley Building lobbies and Nivola mural (may be relocated, if feasible).
- Loss of elevated floors, passage, and suspended sculpture at Hurley Building's courtyard entrance.

URBAN DESIGN CONSIDERATIONS

- Maximizes potential to re-imagine Lindemann neighbor in an exciting way that can reinterpret Rudolph's guidelines while addressing current deficiencies on three important street frontages with a coherent design.
- Eliminates the superblock.
- The removal of the Cambridge Street section provides an opportunity to re-conceive the relationship of the building on this portion of the site to the street. New construction along Cambridge Street must relate well to lower buildings at Beacon Hill.
- The removal of the Staniford Street section will provide increased opportunity to improve the pedestrian experience on that portion of the block.
- Large development site with maximum flexibility provides more opportunity for new and improved areas of open space.

DEVELOPMENT CONSIDERATIONS

- Maximizes flexibility to create new development at a scale and density that is appropriate for downtown Boston.
- Scenario D is the most likely to result in enough new square footage to sufficiently offset the Commonwealth's ongoing costs of occupancy on the site.

APPENDIX A

MASSACHUSETTS CULTURAL RESOURCE RECORD BOS.1618

Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No:	BOS.1618
Historic Name:	Massachusetts Health, Welfare and Education Center
Common Name:	Boston Government Service Center
Address:	115 Cambridge St 25 Staniford and New Chardon Sts
City/Town:	Boston
Village/Neighborhood:	Central Business District; Government Center
Local No:	0301686000
Year Constructed:	r 1965
Architect(s):	Abbott; Dyer, Michael A. Company; Rudolph, Paul Marvin; Shepley, Bulfinch, Richardson; Vappi and Company
Architectural Style(s):	Not researched
Use(s):	Business Office; Doctor Or Dentist Office; Library; Other Governmental or Civic; Parking Garage
Significance:	Architecture; Education; Health Medicine; Landscape Architecture; Politics Government
Area(s):	
Designation(s):	
Building Materials(s):	Wall: Concrete Unspecified



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site (www.sec.state.ma.us/mhc) under the subject heading "MHC Forms."

Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on:

Thursday, June 30, 2016 at 2:22: PM

Moved; date if known _____

Themes (check as many as applicable)

Aboriginal	_____	Conservation	_____	Recreation	_____
Agricultural	_____	Education	_____	Religion	_____
Architectural	_____	Exploration/	_____	Science/	_____
The Arts	_____	settlement	_____	invention	_____
Commerce	_____	Industry	_____	Social/	_____
Communication	_____	Military	_____	humanitarian	_____
Community/	_____	Political	_____	Transportation	_____
development	_____				

Significance (include explanation of themes checked above)

project of the 1960's and 70's. The Center was conceived by coordinating architect Paul Rudolph as a unified grouping of three buildings around a pedestrian plaza which has been compared in architectural periodicals to the Piazza of San Marco in Venice and Piazza del Campo in Venice.² Of the three planned buildings listed below, only the first two have been built. The last is conceived as a 28-story tower.

- 1) Hurley Employment Security Building (Shepley, Bulfinch, Richardson & Abbott, architects)-completed
- 2) Lindemann Mental Health Building (Desmond & Lord, architects. Paul Rudolph, architectural design)-completed
- 3) Health, Welfare & Education Building (arch-M.A. Kyer & Pederson & Tilney, Paul Rudolph, architectural design)

The principal architect, Paul Rudolph, is known for his "individual, vigorous expressionism"⁵ He was born in Kentucky in 1918, studied architecture at Alabama Polytechnic Institute and the Harvard Graduate School of Design, and in 1958 was appointed Chairman of the Dept. of Architecture at Yale. Among his Boston area works are the Jewett Art Center at Wellesley College (1958) and the Blue Cross-Blue Shield Office Preservation Consideration (accessibility, re-use possibilities, capacity Bldg. on for public use and enjoyment, protection, utilities, context). Summer St. in Boston. 5

Recommended for individual listing on National Register and designation (exterior and selected interior) as Boston Landmark. (9/90)

Bibliography and/or references (such as local histories, deeds, assessor's records, early maps, etc.)

1. Boston Architecture, Boston Society of Architects, Donald Freeman, ed. MIT Press, 1970.
2. Progressive Architecture, Feb. 1964, vol. 45, p. 62-64 (illus, plans)
3. Architectural Record, June, 1966, vol. 139, p. 140-141 (illus, plans)
4. Architecture Boston, Boston Society of Architects, 1976.
5. Paul Heyer, Architects on Architecture; New Directions in America, (Walker & Co, 1978) p. 295-306. Includes model & discussion of the Gov. Services Center.

1618.
CBP

DEPARTMENT OF PUBLIC SAFETY							
DIVISION OF INSPECTION							
PLAN RECORD							
CASE	X	RACK	1	APART.	10	NO.	81526
BUILDING	Garage Plaza & Landscaping					STORIES	
CITY OR TOWN	Health, Welfare & Education Service Center.					STREET	Cambridge St
TO BE USED FOR	Boston, Mass.					CLASS	
OWNER							
ARCHITECT	Mr. Paul Rudolph, 6 Beacon St., Boston						
CERTIFICATE APPROVAL-SPECIFICATION REQUIREMENTS-REFERRED							
DATE	April 13, 1966						
INSPECTOR	Frank Graham						
FORM BU. 1-5M-6-59-925610							

1618
CBD

DEPARTMENT OF PUBLIC SAFETY			
DIVISION OF INSPECTION			
PLAN RECORD			
CASE	X	RACK	1
		APART.	10
		NO.	81516
BUILDING	Health, Welfare & Education Bldg.		
			STORIES
CITY OR TOWN	Boston		
		STREET	Government Center
TO BE USED FOR			CLASS
OWNER			
ARCHITECT	M.A.Dyer Company, 7 Water St.		
			Boston, Mass.
CERTIFICATE APPROVAL-SPECIFICATION REQUIREMENTS-REFERRED			
DATE	June 30, 1965		
INSPECTOR	Francis P. Graham		
FORM BU. 1-5M-6-59-925610			

**INVENTORY FORM B CONTINUATION SHEET
BOSTON CBD SURVEY UPDATE**

ADDRESS ON BLC BUILDING INVENTORY FORM:
115 Cambridge Street

Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125

Area Form No.
CBD BOS.1618

EXISTING STATE REGISTER DESIGNATIONS

DESIG CODE	DATE	NAME
none		

MAJOR CHANGES OR CORRECTIONS TO PAGE 1 BASE INFORMATION

Assessors Parcel ID: 0301686000

Assessors Address: 115 Cambridge Street

Names: State Service Center; Senator Joseph A. Langone Jr. Memorial Center (plaque on building); Charles F. Hurley State Service Center; Hurley Employment Security Building (19 Staniford Street); Erich Lindemann Mental Health Center (25 Staniford Street)

Builder: Vappi & Co., Inc. (plaque on building)

Common address: 25 Staniford Street

ADDITIONAL ARCHITECTURAL DESCRIPTION

This complicated set of buildings occupies nearly an entire city block. The Rudolph-designed structure wraps around three sides of the block, enclosing a large center courtyard; an oval parking structure with two levels of parking is set below the courtyard and borrows light from above. A 4-story wing stands along Cambridge St, at the high point of the very steeply sloping site; as it steps down to the east, the building grows to 6 or more stories in height.

Street facades share common architectural elements, including rounded, corrugated exposed-aggregate concrete piers that begin as free-standing elements and become partially-engaged at the top. In-between, floors progressively step outward as they rise. Horizontal window bands are composed of metal sash that become gradually narrower from the lower to the upper floors, with smooth concrete spandrels and a corrugated concrete parapet at the very top edge. Curved building projections of various heights occur irregularly, and echo the curves in the seating areas built into corrugated concrete site walls, and the form of exterior stairways at the northwest corner (Staniford and Cambridge streets), north elevation (Staniford Street) and northeast elevation (Merrimac and Staniford streets). Plazas on the exterior of the site are paved with bands of smooth and exposed aggregate concrete, and typically feature corrugated concrete walls with smooth, CIP, integral seating areas. Portions of the truncated NE elevation of the building are open to views of the inner courtyard.

The primary entrance to the complex is offset on the Staniford Street elevation, in a 3-story, recessed bay with corrugated concrete piers framing concrete and glazed wall elements. What was likely the original main entrance to the Lindemann Center, at the NE corner, appears to have been closed off, and the triangular plaza that fronts it is now used for parking.

The multi-level inner courtyard is centered around an oval-shaped, raised planting area with low granite retaining walls and granite paving. Around the interior courtyard, the 4-story Congress Street structure continues the themes of the exterior elevations. The interior walls of the north and east wings of the building, however, step back in U-shaped concrete trays as they rise; single and paired concrete piers support wide concrete panels that screen the sun from the walls' horizontal bands of windows. Early or original light fixtures consist of tall metal cylinders suspended from the end of slender, L-shaped metal pipe supports, which are mounted above the piers.

The NE corner of the parcel was originally intended to be the location of a 28-story office tower, which was not built due to lack of funding. That site is now occupied by the Edward Brooke (federal) Courthouse (1999), which was designed by Kallman, McKinnell & Wood; it occupies the same assessors parcel as the Health, Welfare and Education complex.

ADDITIONAL HISTORICAL NARRATIVE

Architect Paul Rudolph studied at Harvard under Walter Gropius; he opened his own practice in 1952 and was chairman of the department of architecture at Yale from 1958-1965. Rudolph's career flourished in the 1950s and 60s, beginning with a series of

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Organization: BLC

Date: June 2009

Continuation sheet 1

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INVENTORY FORM B CONTINUATION SHEET
BOSTON CBD SURVEY UPDATE

ADDRESS ON BLC BUILDING INVENTORY FORM:
115 Cambridge Street

Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125

Area Form No.
CBD BOS.1618

houses and schools in Florida, and later encompassing a series of prominent institutional projects around the country. According to many architectural critics, his best work of that period includes the Jewett Arts Center at Wellesley, the Art and Architecture Building at Yale, the Blue Cross/Blue Shield Building (133 Federal St, BOS.1725) and State Services Center in Boston (BOS.1618), and a master plan and buildings for Southeastern Massachusetts Technological Institute (now U. Mass. Dartmouth). Rudolph also designed for Boston the First and Second Church at 64 Marlborough Street in the Back Bay.

The Italian architectural historian Leonardo Benevolo has called Rudolph one of "the most gifted American architects" (Benevolo: 683). His complex and monumental buildings are "generally characterized by irregular silhouette, monolithic and textural surfaces, and dramatic interior spaces" (Placzek: 618). Architect Robert Stern noted that "His search for a convincing, rich architectural style within the modernist canon went as far as anyone could take it." (www.yale.edu/opa)

The Health, Welfare and Education Service Center was built as part of the Government Center redevelopment project. Although Rudolph is officially listed as coordinating architect, the strength and consistency of the design of all the parts suggest that Rudolph was the design force behind the entire project. The building is "considered to be among the most dramatic and architecturally ambitious of the modern office buildings in the United States". (Boston Preservation Alliance: [2]) It has also been described as "a tour de force demonstrating the sculptural possibilities of concrete" (Southworth: 57) and as an "astonishing" building that is at once "massive and shapely, imaginative, technically ingenious, sometimes gratuitously graceful, alternately comfortable and overpowering. . . ." (Lyndon: 84) Still controversial, the building's huge scale, provocative arrangement of forms, and complex spatial sequences are ambitious and experimental, yet have also been criticized as aggressive and disorienting.

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- Obituaries for Paul Rudolph: www.yale.edu/opa (accessed 6/2/2009); *The New York Times*, 8/9/1997.

Recorded by: W. Frontiero and L. Smiledge

Organization: BLC

Date: June 2009

Continuation sheet 2

INVENTORY FORM B CONTINUATION SHEET
BOSTON CBD SURVEY UPDATE

Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125

ADDRESS ON BLC BUILDING INVENTORY FORM:
115 Cambridge Street

Area Form No.
CBD BOS.1618

SUPPLEMENTARY IMAGES and LOCATIONAL INFORMATION



Assessors Map



South and east facades – Cambridge and New Chardon streets)



Courtyard - View to northwest



North (Merrimac Street) elevation

INVENTORY FORM B CONTINUATION SHEET
BOSTON CBD SURVEY UPDATE

Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125

ADDRESS ON BLC BUILDING INVENTORY FORM:
115 Cambridge Street

Area Form No.
CBD BOS.1618

SUPPLEMENTARY IMAGES and LOCATIONAL INFORMATION



Northwest elevation (corner Merrimac and Staniford Streets)



West elevation (Staniford Street)



West elevation (Staniford Street)



Ground floor detail –Staniford Street

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Organization: BLC

Date: June 2009

Continuation sheet 4

**INVENTORY FORM B CONTINUATION SHEET
BOSTON CBD SURVEY UPDATE**

ADDRESS ON BLC BUILDING INVENTORY FORM:
115 Cambridge Street

Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125

Area Form No.
CBD BOS.1618

National Register of Historic Places Criteria Statement Form

Check all that apply:

- ☐ Individually eligible ☐ Eligible **only** in a historic district
☐ Contributing to a potential historic district ☐ Potential historic district

Criteria: ☐ A ☐ B ☐ C ☐ D

Criteria Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G

Statement of Significance by W. Frontiero

In 2009, although not yet 50 years of age, the Health, Welfare and Education Service Center is significant as a prominent element of the massive urban renewal project at Government Center in the 1960s, and as a brilliant work by the mid-20th century architect, Paul Rudolph. When it reaches 50 years of age, the building will meet Criteria A and C of the National Register on the local, state, and possibly national levels. At this time, more research would be necessary to establish that there presently exists a sufficient body of scholarly research and evaluation of the building and its context as a unique part of one of the largest, most complex, and most successful civic center urban renewal projects in Boston, the state, and the nation, and as an extraordinarily innovative example of modern public architecture, for it to meet the threshold exceptional significance of National Register Criteria Consideration G, for properties less than 50 years of age.

The building is also located within Government Center, a significant mid-twentieth century urban renewal project that in the 1960s transformed the old Scollay Square into a newly configured, mixed-use civic center. Government Center was one of the early projects of the Boston Redevelopment Authority, which was established in 1957 and headed by the visionary planner Edward J. Logue from 1960 to 1968. I.M. Pei & Associates of New York City designed the master plan (1961), which encompassed new city, state, and federal office buildings, privately-financed office and retail space, and the eight-acre city Hall Plaza, as well as the preservation of select historic properties. An array of architects with regional, national, and international reputations was associated with its execution. As part of the redevelopment of the area, approximately 60 acres of land were cleared of buildings, thousands of residents and hundreds of businesses were displaced, 22 streets were consolidated into six, and a new network of pedestrian open spaces, with integral streetscape elements and public art, was created.

In 2009, Government Center is not yet 50 years of age; its eligibility for listing on the National Register as a district should be reconsidered as significant components of its design achieve 50-year status. At this time, more research would be necessary to determine whether there presently exists a sufficient body of scholarly research and evaluation of Government Center and its role in the context of mid-20th century urban renewal in Boston, the state, and nationally, for it to meet the threshold of exceptional significance of National Register Criteria Consideration G, for properties less than 50 years of age.

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Organization: BLC

Date: June 2009

Continuation sheet 5

NR

CLGC OPINION: ELIGIBILITY FOR NATIONAL REGISTER

Boston
805.1618

Date Received:

Date Reviewed:

Type: Individual District (Attach map indicating boundaries)

Name: Health, Welfare & Education Service Center
for the Commonwealth of Massachusetts

Inventory Form: attached

Address: 115 Cambridge Street, Boston

Action: Honor ITC Grant CLGC initiated Other:

INDIVIDUAL PROPERTIES

DISTRICTS

- ☒ Eligible
☐ Eligible, also in district
☐ Eligible only in district
☐ Ineligible
☐ More information needed

- ☐ Eligible
☐ Ineligible
☐ More information needed

CRITERIA: A B C D

LEVEL: Local State National

STATEMENT OF SIGNIFICANCE by James Labeck, Asst. Dir. Survey & Planning, BLC.
(Refer to criteria cited above in statement of significance. If more information is needed, use space to describe what is needed to finish eligibility opinion.)

The Health, Welfare & Education Service Center for the Commonwealth of Massachusetts at 115 Cambridge Street possesses integrity of location, design, setting, materials, workmanship, feeling and association, and both embodies distinctive characteristics of a type and represents a distinguished work of architecture. The Health, Welfare & Education Center meets criteria C of the National Register of Historic Places on the local, state, and national levels, and exception G as a property that has achieved significance within the past 50 years.

The Service Center was built 1964-70, and was designed by Paul Marvin Rudolph with Shepley, Bulfinch, Richardson & Abbott, and Desmond & Lord. It is a massive, irregularly-shaped modern office complex in the Expressionistic style, called "sculptural exo-structure" with "hammered concrete skin" emphasizing contrast between rough and smooth surfaces. The Service Center is one of the most dramatic and architecturally ambitious of the Government Center Urban Renewal project.

Paul Rudolph conceived of the center as a unified grouping of three buildings around a pedestrian plaza. Only two of the original three buildings designed were constructed: the Hurley Employment Security building (Shepley, Bulfinch, Richardson & Abbott); Lindemann Mental Health Building (Desmond & Lord, architects, ~~See reverse if necessary.~~)

MHC STAFF OPINION

Date Received:

Date Reviewed:

1/16/91

Opinion: Concur Disagree More information needed

See Reverse for Comments

Paul Rudolph, architectural design). Paul Rudolph, known for his "individual, vigorous expressionism," was born in Kentucky in 1918, studied at Alabama Polytechnic Institute and Harvard GSD, and in 1958 was appointed Chairman of the Department of Architecture at Yale.

Nomination would have to justify exception G, pertaining to properties achieving significance in the last 50 years.

Nomination should also address how this project related to the larger planning and development of Boston's Government Center.



RECEIVED

FEB 11 1991

CITY OF BOSTON
ENVIRONMENT DEPT.

February 6, 1991

James Labeck
Assistant Director of Survey and Planning
Boston Landmarks Commission
Boston City Hall, Room 805
Boston, MA 02201

RE: CLG NR Eligibility Opinions

Dear Jim:

The staff of the Massachusetts Historical Commission has recently completed reviewing the eight attached CLG National Register eligibility opinions submitted as part of the FY 89 Survey and Planning Grant Project for the reevaluation of Boston's Central Business District. Our comments are as follows:

1. Boston City Hall. MHC staff concurs that Boston City Hall meets Criterion C of the National Register of Historic Places on the national level, and exception G as a property that has achieved significance within the past 50 years. The historic context would need to be broadened to justify the property's significance on the local and state levels. Refer to "How to Apply the National Register Criteria for Evaluation" (enclosed) for information on evaluating local, state and national historic contexts. MHC staff also feels that the property meets Criterion A for its strong associations with the development of Boston's Government Center and the urban renewal philosophy prevalent at the time.

2. Health, Welfare, and Education Service Center. MHC staff concurs that the Health, Welfare, and Education Service Center meets Criterion C of the National Register of Historic Places on the national level, and exception G as a property that has achieved significance within the last 50 years. Again, the property's historic context would need to be broadened to justify its significance on the local and state levels. The building may also meet Criterion A for its associations with the larger planning and development of Boston's Government Center.

3. City Hall Annex. MHC staff concurs that the City Hall Annex meets Criterion C of the National Register of Historic Places on the local level. The property also appears to meet Criterion A as an important public building associated with the expansion of Boston's municipal government.

4. Hutchinson Building. MHC staff concurs that the Hutchinson Building meets Criterion C of the National Register of Historic Places on the local level. Staff also feels that the Hutchinson Building may also meet Criterion A. Additional research on the development and growth of this section of Boston would be required to confirm this. 1963

5. Easton Building. MHC staff concurs that the Easton Building meets Criterion C of the National Register of Historic Places on the local and state levels. In addition, MHC staff feel the building meets Criterion A for its associations with the Ames family of Easton, Massachusetts. Any subsequent nomination of this property would require additional information of the building's connection with the Ames family. 1972

6. Jewelers Building. MHC staff concurs that the Jewelers Building meets Criterion C of the National Register of Historic Places on the local level. The staff also feels that the property meets Criterion A for its role as Boston's jewelry center and for its larger associations with the city's commercial center. Any subsequent nomination should place the Jewelers Building within a context of development during the period, specifically Boston's early skyscraper development. There also appears to be the potential for a district which would include other buildings developed after the fire of 1872. 1973

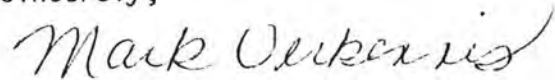
7. Chinese Merchants Association Building. There does not appear to be sufficient information at this time to justify exception G for properties achieving significance within the last 50 years. Any eventual nomination of this property would need to address the overall development of Boston's Chinese community and Chinatown, and the role that the Chinese Merchants Association played in that development. 1974

8. State Street Bank and Trust Building. MHC staff will require additional information to comment on this eligibility opinion. There is no reference made to the addition (75-101 Federal Street) made to this building in 1988. This addition obscures one facade of the subject property completely, and appears to have involved some alteration of the lobby, which is noted as one of the building's most important architectural features. Additional information on the nature of the recent expansion, and its impact on the integrity of the building's historic fabric and integrity of its setting should be submitted to MHC.

The property may also meet Criterion A for its associations with Boston's financial sector, and the significant downtown building boom occurring at the time of the building's construction. Finally, no context has been presented for the building's significance on the state level. 1975

If you have any questions about the above comments, please feel free to contact our office.

Sincerely,

A handwritten signature in cursive script that reads "Mark Verkennis".

Mark Verkennis
Director of Local Government Programs
Massachusetts Historical Commission

Enclosures

MV/kab

APPENDIX B

BGSC DOCOMOMO LONG FICHE

NEW INTERNATIONAL SELECTION DOCUMENTATION LONG FICHE

for office use

Wp/ref no

Nai ref no

composed by working party of: The United States of America

DOCOMOMO US identification number:

0. Picture of building/ group of buildings/ urban scheme/ landscape/ garden



depicted item: Aerial perspective photo of the State Service Center, tower unbuilt

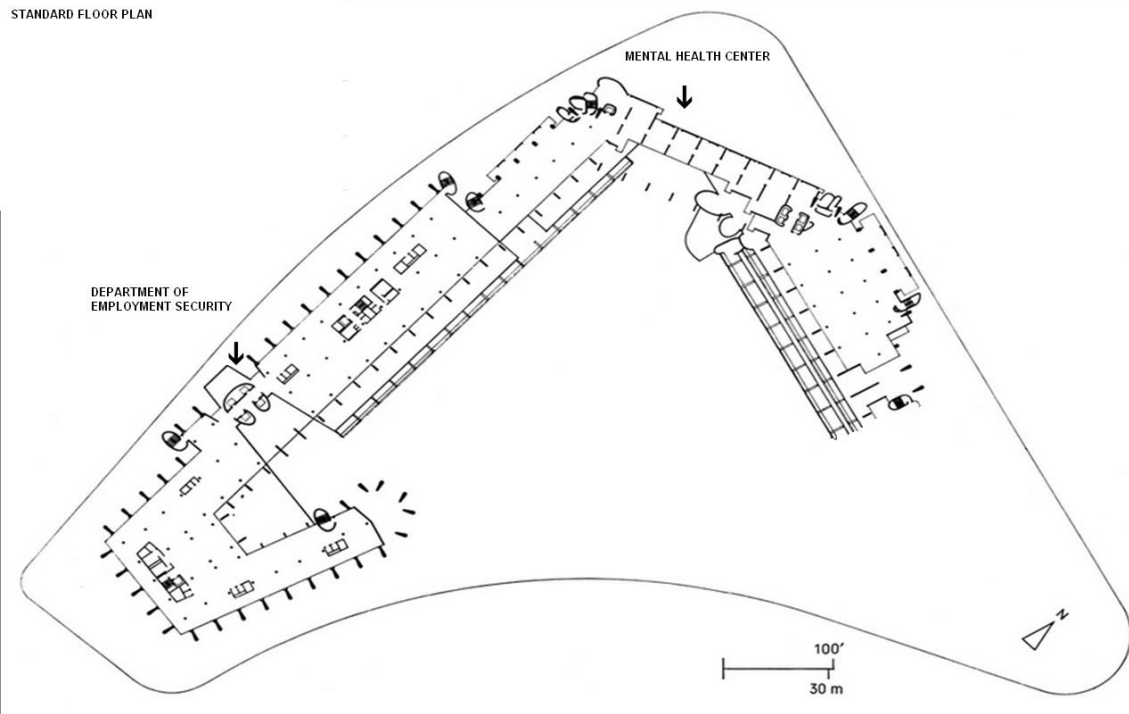
source: A Vision of Human Space: Paul Rudolph: Boston State Service Center, Black, Carl John , Architectural Record, July, Volume 154, Number 1, p.105-116, **date:** July 1973

0.1 accessibility

opening hours/ viewing arrangements: The plaza is open to the public on weekdays from 6am –sunset. Visitors have limited access to the lobby of the Department of Employment Security building. Visitors can sign in and walk about the different common areas of the Lindemann Mental Health Center. The Chapel in the Mental Health Center is

only open for services on Saturdays and Sundays from 3:30pm-4:30pm.

1. Identity of building/ group of buildings/ group of buildings/ landscape/ garden



Standard Floor Plan (Edited). The Architecture of Paul Rudolph, Mohoy-Nagy, Sibyl; Schwab, Gerhard, New York (1970).

1.1 Data for identification

current name:

Complex: Government Service Center
Erich Lindemann Mental Health Center
Charles F. Hurley Division of Employment Security Building

former/original/variant name:

Health, Welfare and Education Service Center
State Service Center
Lindemann Center, Massachusetts Mental Health Center, Mental Health and State Laboratories
Hurley Building, Employment Security Building
Senator Joseph A. Langone Jr. Memorial Center (plaque on building)

number(s) and name(s) of street(s):

The site is bounded by Staniford, Merrimac, New Chardon, and Cambridge Streets
Mental Health Center: 25 Staniford Street
Division of Employment Security: 19 Staniford Street

town:

Boston

province:

post code:

02114

country:

United States of America

national topographical grid reference:

UTM coordinates 19T 330098mE 4692130mN

estimated area of site in hectares:

Total superblock: 4.6 hectares

Division of Employment Security: 1.67

Mental Health Center: 1.67

Edward W. Brooke Courthouse: 2.25

current typology:

ADM/HLT

former/original/variant typology:

ADM/HLT

comments on typology:

The Division of Employment Security also houses a library and archive, however these are not open to the public.

The Mental Health Center includes a small chapel as well as several exercise facilities

1.2 Current owner(s)

name:

Commonwealth of Massachusetts

number and name of street:

One Ashburton Place

town:

Boston, MA

country:

United States of America

post code:

02108

Current occupier(s) (if not owner(s))

1.3 Status of protection

protected by: state/province/town/record only

grade:

Not protected

date:

valid for: whole area/parts of area/building

remarks: (conservation area; group value)

The Service Center was designated a Category Two Building (major significance) by the Boston Landmarks Commission. The Building Information Form completed by the Boston Landmarks Commission September 1990 recommended the complex "for individual listing on National Register and designation (exterior and selected interior) as Boston Landmark. BOS.1618 (9/90)." Should the site become landmarked the responsibility would fall through the Massachusetts Historical Commission onto the Boston Landmark Commission.

1.4 Agency(ies) responsible for protection

valid for: whole area/parts of area/building

name of agency(ies):

The Bureau of State Office Buildings, and the Division of Capital Asset Management are charged with maintenance and upkeep of the buildings.

1.6 Surrounding area(s) of importance (e.g. visually or functionally related)**name of surrounding area:**

Government Center, West End, North Station

type of area:

Commercial offices, government offices, retail, some housing, and healthcare

visual relation:

Built under the Government Center Redevelopment Project of the 1960s, many of the buildings near Government Service Center share in the Mid-Century Modernist style, and reliance on exposed concrete.

Rudolph designed the outer buildings of the complex to a height of five to seven stories which relate to the older buildings directly across from the Center. The height of the Health, Welfare and Education tower was similar to that of the new State Office Building across the street, and together they were intended to act as a visual gateway into Government Center.

other relations:

Government Service Center is in close proximity to the Massachusetts General Hospital complex, the Lindemann Mental Health Center acting as the healthcare end of Government Center.

2. History of building(s) etc

2.1 Chronology

Note if the dates are exactly known (e) or approximately estimated = circa (c) or (±)

Note on references for Chronology: the information and dates were taken and verified when repeated from the following documents only:

Agreement with City Government Center Commission, Memorandum to Boston Redevelopment Authority. Boston Redevelopment Authority. June 27, 1962. Boston Public Library. (Website or Online Data-1962).

Government Center Progress Report (1962). Boston Redevelopment Authority. October 1961. Boston Public Library, (Website or Online Data-1962).

The Hurley Building: Finishing Paul Rudolph's Design. Boston Redevelopment Authority. 1986. Boston public Library. (Website or Online Data-1986).

Letter Dated October 31, 1962. Government Center Commission. October 31, 1962. Boston Public Library. (Website or Online Data-1962).

Report of the Government Center Commission for the Fiscal Period, July 1, 1966- June 26, 1967. Massachusetts Government Center Commission. Boston Public Library (Website or Online Data-1967).

Project Review Memorandum, Garage, Plaza and Landscaping for the Health, Welfare and Education service Center. Paul Rudolph Office. November 18, 1964. Paul Rudolph Archives at the Library of Congress, Washington, D.C.

Project Review Memorandum, Department of Employment Security for the Health, Welfare and Education service Center. Paul Rudolph Office. November 18, 1964. Paul Rudolph Archives at the Library of Congress, Washington, D.C.

Analysis of cost increases over the budget for the Mental Health Center, David R. Thissin from Desmond & Lord, Inc., November 13, 1964. Paul Rudolph Archives at the Library of Congress, Washington, D.C.

- 1954. The idea of developing a government center in Boston was conceived when it became apparent that the City, State and Federal governments were each contemplating major new construction in Boston. It was decided that Scollay Square would be an ideal area for the redevelopment project due to its geographical location close to governmental operations and the financial district of Boston, as well as the advantage of existing public transit and arterial access. Another was its primarily nonresidential area. The area was classified as an Urban Renewal Area under Title I of the Housing Acts of 1949, passed by Congress to make it possible for urban areas such as Boston to deal effectively with slum clearance.
- 1955. A committee consisting of chairmen of the Planning Board, Housing Authority, Building Commissioner and Coordinator of Rehabilitation and Conservation prepare the statement, "Workable Program for Urban Renewal" outlining redevelopment plans for the North End, Waterfront, Pemberton Square, Scollay Square and Dock Square are.

- 1958. Serious discussion with the major public bodies concerned regarding the Government Center Urban Renewal Project.
- 1959. Original Government Center Plan prepared by Kevin Lynch as the consultant to Adams, Howard and Greely.
- 1960. A sufficiently definite program is fashioned, permitting the application for a Federal advance for surveys and plans for the project. At this time I.M. Pei and Associates are engaged to prepare an Urban Renewal Plan for the Project.
- May 9, 1960. I. M. Pei Plan is approved by the Boston Redevelopment Authority and the City Council.
- September 1, 1960. Acts and Resolves of 1960, Chapter 635. An act establishing the Government Center Commission with the purpose of constructing the State Office Building, and the Health, Welfare and Education Service Center. The document outlines the site of construction, and use requirements for the Mental Health Building, Division of Employment Security Building, and the Health, Welfare and Education Building.
- February 5, 1961. Initially acting as Coordinating Architects, the architectural firm of Pedersen and Tilney developed preliminary overall project plan concepts. At this time, drawings for the Department of Employment Security and the Health, Welfare and Education building started.
- September 21, 1961. The Federal Government approves the Boston Redevelopment Authority's application for an Early Land Acquisition Loan for Government Center, the first project in the country to receive such funds. This step accelerate actions such as acquisition, relocation and demolition.
- October 25, 1961. The Boston Redevelopment Authority acquires at its expense, with the financial aid of the Federal Government and the City of Boston under the Urban Renewal Program, almost all of a 60-acre area, formerly known as Scollay Square. The Boston Redevelopment Authority owns the land that is to be the site of the Health, Welfare and Education Service Center, The area of the site, initially referred to as Parcel 1, is approximately 368,585 square feet. The Boston Redevelopment Authority, under the Urban Renewal Program and with its financial aid, beings relocating the site occupants. Demolishing the structures on the site is at the expense of the Authority.
- December 21, 1961- July 5, 1962. The program for the Mental Health Center is written by Desmond & Lord, Inc. with the Department of Mental Health. At the end of this period, a contract is signed.
- January 1, 1962. The Government Center Commission officially approves the association of the firms M.A. Dyer, Pedersen and Tilney for architectural service on the Health Welfare and Education Service Center, and Desmond and Lord with Paul Rudolph, for architectural services on the Department of Employment Security.
- April 9, 1962. Boston Redevelopment Authority Committee Report criticizing the Pedersen and Tilney site plan as "arbitrarily fragmenting the elements."
- April 18, 1962. The program for the Department of Employment Security and Health, Welfare and Education building is prepared by Becker & Becker Associates, New York, N.Y.
- June 13, 1962. Rudolph sketches site plan formulating the basis of the present low, unified, single building and plaza concept.
- June 13, 1962. The Government Center Commission and the Boston Redevelopment Authority sign a letter of understanding relating to the Health, Welfare and Education Service Center. The letter covers agreements on the site, the responsibilities of the Authority and the Commission, the form of land disposition, the

schedule of the Authority and the Commission, and the Schematic Site Plan for the Site.

- June 27, 1962. The new concept is presented to the Government Center Commission and the participating architects are instructed to proceed on this basis.
- July 30, 1962. The firm of Desmond & Lord had not completed any preliminary drawings, prior to Paul Rudolph's Unified Design concept. The first preliminary designs for the Mental Health Center were submitted on this date.
- September 20, 1962. Urban Renewal Plan for the Government Center Project
- October 31, 1962. A revised schematic site plan is agreed upon, the schedule was intended as follows: ¹
- Final Construction drawings to be completed by the architects:
 - Mental Health Center: June 1, 1963
 - Health, Welfare and Education Building: July 1, 1963
 - Division of Employment Security: August 1, 1963
- Construction to begin as follows:
 - Mental Health Center: August 1, 1963
 - Health, Welfare and Education Building: October 15, 1963
 - Division of Employment Security: September 1, 1963
- January 2, 1963. Demolition starts on State Service Center sites.
- January 10, 1963. GCC approve preliminary plans for the Department of Estate Security and authorize development of final plans and specifications.
- April 9, 1963. Joint letter from Shepley Bulfinch Richardson & Abbot, Desmond & Lord, M.A. Dyer Co., to the GCC setting forth inability to proceed with final plans and specifications due to lack of necessary pertinent information,
- June 12, 1963. Paul Rudolph is commissioned as architect for the Plaza, Parking Garage and Landscaping for the Health, Welfare and Education Service Center.
- June 18, 1963. Commissioned as "Coordinating Consulting Architect" for the Health welfare and Education Service Center. The agreement was modified September 11, 1963 to include coordination of an on-site utilities distribution system.
- June 30, 1963. All families and individuals displaced by the Government Center Project are relocated.
- July 1, 1963. Paul Rudolph establishes a Boston office to facilitate his work on the Service Center.
- July 1, 1963. After preliminary site plans for the Mental Health Center are completed during the winter of 1962-1963, Desmond & Lord begin preliminary working drawings on this date. The following months saw a major change in the structural bay system agreed upon by the various architects, and the relocation of truck dock facilities, necessitating some shifting of spaces on the ground floor and delaying the preliminary working drawings one month. The final working drawings were begun December 1, 1963.
- July 31, 1963. The Boston Redevelopment Authority approves Paul Rudolph's recommendation to change the material for Plaza pavement from brick to exposed aggregate concrete in the interest of both economy and aesthetics.
- October 15, 1963. Becker and Becker begin restudying the program for the Department of Employment Security, setting forth the needed program changes on November 11, 1963.

¹ Letter Dated October 31, 1962. Massachusetts Government Center Commission. Boston Public Library. Internet Archive. < <http://www.archive.org/details/letterdatedoctob00mass>>. Accessed July 13, 2011

- December 20, 1963. The architects of the Mental Health Center meet with a group of doctors from the staff of Massachusetts General Hospital, serving as advisors on the project. A number of criticisms in both the layout of the building as proposed by the architects and in the program. It became clear that while the general allocation and size of the various departments were satisfactory, a great many changes would be required in departmental layouts and room sizes. At this time, preliminary calculations for heating and cooling loads throughout the building were completed and showed that the mechanical equipment rooms assumed during the design period were larger than would be required. It thus became possible to make the changes and additions (a medical library and animal room) proposed by the doctors without increasing the gross square footage of the building.
- January-May 1964. The Mental Health Center is redesigned
- March 4, 1964. Definitive Garage, Plaza & Landscaping plans are approved by the GCC.
- May 25, 1964, Final working drawings for the Mental Health Center are resumed.
- July 26, 1964. Government Center Commission decides that all buildings in the Government Service Center should be equipped with closed circuit television, and appropriates additional funds for this purpose.
- September 16, 1964. Shepley Bulfinch Richardson & Abbott submit final working drawings and specifications, which are ready for bidding.
- September 28, 1966. The Commission acting upon notification that the architectural firm of M.A. Dyer has been declared bankrupt, accepts a proposal by the firm of Desmond and Lord, designers of the Mental Health Center, to act as substitute supervisory architects for the Health, Welfare and Education Building. Contract for said services were entered into on October 5, 1966.
- January 11, 1967. General bids for the Division of Employment Security building were received.
- January 25, 1967. The Commission enters into a contract with the low bidder, Vappi and Co., in the amount of \$10,744,700 for the construction of the Division of Employment Security Building.
- February 1, 1967. General bids for the Mental Health Building were received
- February 20, 1967. Construction on the Division of Employment Security begins
- March 1, 1967. General bids for the Health, Welfare and Education Building were received.
- March 14, 1967. The Commission enters into a contract with the low bidder, Vappi and Co., in the amount of \$10,959,000 for the construction of the Mental Health Building.
- March 20, 1967. Construction on the Mental Health Building begins
- March 24, 1967. The Commission votes to reject all bids taken, together with filed sub bids for the construction of the Health, Welfare and Education Building, on the grounds that one bid had been received, filed by Vappi Co., and that this bid was in excess of budget allowances.
- March 29, 1967. The Commission notified the firm of Desmond and Lord that its contract for supervisor architects for the Health, Welfare and Education Building was to be terminated.
- Following rejection of bids on the Health, Welfare and Education Building, and upon the advice of the Commissioner of Administration and Finance that the original design for a 24-story tower was no longer valid due to the substantial growth in number of employees of the departments originally intended to be housed, the

building was considered inadequate in site. The Commission and staff begin a complete re-examination of design and projected use requirements for the building.²

- March 1970. Division of Employment Security opens
- September 22, 1971. Mental Health Center opens.
- Between 1971-1975 Paul Rudolph was taken off the project by the Government Center Commission.³
- Between 1971-1975. A 33-story tower designed by both Shepley Bulfinch and Desmond and Lord was approved, however construction costs and changes of administration resulted in the tower's never being built. The Government Center Commission was authorized to spend \$43.5 million the entire complex. With the two completed buildings and garage and landscaping funded, the state had only \$11.5 million left. The tower, estimated at \$33 million, would have required and appropriation of an additional \$22 million to build.

commission or competition date:

early 1960

design period:

1962-1966

However, design for the un-built Health, Welfare and Education Building continued until 1969, at which point the project was suspended indefinitely.

start of site work:

1967

completion/inauguration:

Division of Employment Security opened in March 1970

Mental Health Center: dedicated September 22, 1971 (e)

2.2 Summary of development

commission brief:⁴

Commission for the project was headed by the Government Center Commission.

Date of appropriation of funds:

September 1, 1960; Section 6 of Chapter 635 of the Acts of 1960, amended July 18, 1962; Section 2 of Chapter 685 of the Acts of 1962, and for the Health, Welfare and Education building, further amended July 26, 1964

design brief:

The overall design for the Government Center area Urban Renewal was developed by

² Report of the Government Center Commission for the fiscal period, July 1, 1966-June 26, 1967. Massachusetts Government Center Commission. Boston Public Library. Internet Archive.<

<http://www.archive.org/stream/reportofgovernme00mass#page/n17/mode/2up>>. Accessed July 13, 2011

³ The Hurley Building-Finishing Paul Rudolph's Design. Boston Redevelopment Authority. Undated, circa 1986. <<http://www.archive.org/stream/hurleybuildingfi00bost#page/n7/mode/2up>>. Accessed July 13, 2011.

⁴ Paul Rudolph Archives at the Library of Congress. Memorandum Report, 18 November 1964. Paul Rudolph Architect.

I.M. Pei and completed in 1961. Pei's plan set up the 3-building layout of Government Service Center, but the idea to unite these three buildings was Rudolph's.

On June 27, 1962, Paul Rudolph's new Unified Building Design concept was presented to the Government Center Commission and the participating architects were instructed to proceed on this basis.⁵

Acting as the coordinating architect, Rudolph developed the following criteria under which the four other architects worked to create a sense of unity:⁶

1. The space of Boston's irregular streets should be defined by placing buildings parallel to them.
2. The irregular intersection of streets should be defined by setting the buildings back from the curb line to form small plazas.
3. All buildings should be entered through a central pedestrian courtyard
4. The buildings paralleling the streets should be five to seven stories high, conforming roughly with the building height across the street.
5. There should be one multi-story building to announce the government center from a great distance and to allow the scale of the complex to hold its own with tall adjacent buildings.
6. The low buildings should have the pedestrian court at a smaller intimate scale achieved by stepping back the walls of the low buildings at the courtyard side.
7. The scale of the street façade should be much greater because of the auto-mobiles
8. Regular bays at the street with columns 60 to 70 ft. in height should be utilized, but the more intimate scale of the courtyard should have columns corresponding to the series of one-story high stepping facades.
9. The multi-story building should act as a pivoting point at the entry to the plaza and serve as its principal spatial element.
10. All architects should use the same material (concrete) and similar fenestration.

building/construction:

Project development for all three buildings of the Government Service Center experienced significant recurring setbacks. Due to various needs to redesign the buildings, final drawings for the buildings were constantly delayed. By 1964, when the drawings were nearing completion, Rudolph insisted to the Government Center Commission that it was essential that the entire project be sent out to bid at the same time. For political reasons, the Commission decided against this and sent the Department of Employment Security out for bidding⁷ in 1966. The bidding came in over budget, but was awarded to Vappi Constructions. In March of 1967, the Mental Health Center bid was again over budget but awarded to Vappi Constructions. By 1966, the Commission had appropriated extra funds, so that the total budget for the project was now \$43.5 million, \$9.5 million more than the original appropriation in 1960. However, when estimates of constructing the tower rose to \$33 million in early 1969, a significant increase from the original \$12.2 million budgeted, commissioner of administration and finance for the Commonwealth, Donald R. Dwight, gave orders for the architects to stop their work. Because of the substantial investments

⁵ Project Review Memorandum for the Health, Welfare and Education service Centers, Paul Rudolph Architect, 18 November 1964. Paul Rudolph Archives at the Library of Congress

⁶ The Architecture of Paul Rudolph, Mohoy-Nagy, Sibyl; Schwab, Gerhard, New York (1970).

⁷ Project Review Memorandum for the Health, Welfare and Education service Centers, Paul Rudolph Architect, 18 November 1964. Paul Rudolph Archives at the Library of Congress

the city had made in architectural plans for the Health, Welfare and Education building, it was simply postponed indefinitely, with hopes that it would someday be built.⁸

Original plans for the construction of an underground parking facility were modified in the interest of economy and upon analysis of subsoil conditions indicating a high water table. A covered parking facility above ground was agreed upon.

completed situation:

original situation or character of site:

The area chosen for Boston's Government Center development was the densely-packed neighborhood of Scollay Square, a hillside section of downtown Boston that had evolved from a colonial neighborhood into a dense commercial district. By 1960, the Scollay Square area was in severe decline, marked by dilapidated dwellings, vacant stores, broken neon lights and faded marquees, taverns and tattoo parlors. It was an area marked by a high incidence of social disorders, fires and crimes. Scollay square was characterized by four to ten story buildings that faced onto tight winding streets, forming odd-shaped blocks and squares. Under the Redevelopment Plan, 22 streets were replaced by four major and two minor streets. The project area was occupied mostly by business, of which there were 777. However 246 families, 176 individuals 295 permanent roomers also lived in the area, and had to be relocated.⁹



Boston Atlas, 1955, Boston Redevelopment Authority, www.cityofboston.gov/bra, Accessed June 2011.

⁸ State Senate probes HEW building cost, David Ellis; Boston Globe (1960-1979); Feb 10, 1970; pg. 3;

⁹ Government Center Progress Report. . Massachusetts Government Center Commission. Boston Public Library. Internet Archive. < <http://www.archive.org/stream/governmentcenter64bost#page/n27/mode/2up>>. Accessed July 13, 2011

Current Aerial view. GoogleMaps, www.maps.google.com. Accessed June 2011

2.3 Relevant persons/organizations

original owner(s)/patron(s): ¹⁰

Commonwealth of Massachusetts

architect(s):

Coordinating Architect for all buildings: Paul Rudolph:

Health, Welfare and Education Building

Executive Architect : M.A. Dyer Co.

Associate Architects: Pedersen & Tilney.

Consulting Architect: Paul Rudolph

Division of Employment Security Building

Executive Architect: Shepley, Bulfinch, Richardson & Abbott, Architectural Design: Paul Rudolph.

Erich Lindemann Mental Health Center, Executive Architect: Desmond & Lord,
Architectural Design: Paul Rudolph.

Garage and Plaza: Paul Rudolph

landscape/garden designer(s):

Paul Rudolph

Campbell and Aldrich

City of Boston

other designer(s):

Space Consultants/ Planning Engineers: Becker & Becker Associates

Job captain: William Grindere, for Paul Rudolph's office

consulting engineer(s):

Structural engineers: Souza & True

Mechanical and electrical engineers:

MHC-Greenleaf Associates

DES- Buerkal Company

HWE-Campia Engineering, Inc.

building contractor(s):

Vappi Constructions, Superintendent John Themeli

2.4 Other persons or events associated with the building(s)/site

name(s):

Boston Redevelopment Authority

association:

¹⁰ Paul Rudolph Archives at the Library of Congress

Established in 1957 to assume the redevelopment functions formerly handled by the Boston Housing Authority, the Boston Redevelopment Authority purchased the site for Government Service Center, relocated the occupants and demolished the buildings, at which point the site was sold to the Government Center Commission.

name(s):

Government Center Commission

association:

State agency created in 1960 to plan and supervise the construction of state buildings in the Government Center area, responsible for \$100 million in new buildings in Boston.

name(s):

Architect I.M.Pei

association:

Created the Master Plan for Government Center in 1961

name(s):

Pedersen & Tilney

association:

The architectural firm of Pedersen & Tilney, initially acting as coordinating architects, developed the preliminary overall project site plan in 1961.

name(s):

Tufts-New England Medical Center

association:

The Erich Lindemann Mental Health Center is operated under the lead of the Department of Psychiatry at Tufts-New England Medical Center. All attending psychiatrists are full-time faculty of Tufts University School of Medicine and Tufts New-England Medical Center. However, the hospital is not a teaching hospital.¹¹

event(s):

Formation of the Boston Redevelopment Authority 1957
Scully Square Development 1960-1963
I.M. Pei Master Plan for Government Center 1961
J.F.K. Federal Building Construction 1963-1969
City Hall Construction 1962-1969
Government Center Parking Garage Construction 1966-1971
Government Center Commission is closed on September 1975

period:

Boston's Urban Renewal 1950-1970
The Government Service Center was developed as part of the Government center project, a larger movement of urban renewal in Boston. The densely-packed area that was previously the West End was cleared to make way for the 20-hectare development.

¹¹ The Lindemann Community Mental Health Center, Polaris Healthcare Services Inc., <<http://polarishealthcare.com/description.php?site=Lindemann>>. Accessed July 2011.

2.5 Summary of important changes after completion

type of change: alteration/renovation/restoration/extension/other:

alteration:

The pool in the Mental Health Center closes.

Date(s):

1997

circumstances/reasons for change:

effects of changes:

persons/organizations involved:

Massachusetts Department of Mental Health

Alteration/Addition:

Construction of the Edward W. Brooke Courthouse on the East corner of the plaza, 25 New Chardon Street. The seven-story building occupies 425,000 sf. of land, and includes underground parking for 100 cars.

date(s):

1999

circumstances/reasons for change:

The courthouse accommodates 18 courtrooms, public transaction and waiting areas, the Suffolk Registry of Deeds, MA Land Court, Boston Probate and Family Court, the Boston Juvenile Court, the Boston Housing Court, and a cafeteria.

effects of changes:

The courthouse completes the site and provides important street edges to New Chardon Street and Merrimac Street. The concentration of government agencies significantly increased the number of visitors to the site. The building was designed in a different style and material palette from the Rudolph buildings, which changes the original intention to create a unified complex of closely related buildings. An attempt was made by the architects to relate the new building to those of Rudolph by the similar building heights, and the colonnade that divides the Courthouse from the Mental Health Center.

persons/organizations involved:

Owner(s): Commonwealth of Massachusetts

Architect: Kallmann, McKinnell & Wood Architects, Inc.

General Contractor: Dimeo

alteration:

Landscaping on plaza, a small park was carved out of a parking lot, surrounded by terraced gardens. Benches were placed around the circular grass area.

date(s):

1999

circumstances/ reasons for change:

Landscaping of the plaza accompanied the construct of

effects of changes:

People from nearby offices frequent the plaza during lunch breaks, apart from the Post Office Park, it is one of the few green areas in the North Station area.

alteration/addition:

Four staircases were added to the plaza connecting the upper and lower levels. The staircases are curved and attempt to mimic the texture of the original corduroy concrete, however the concrete used is much lighter and color, and doesn't have any of the bigger, more colorful aggregate. An elevator was also added on the upper level of the plaza, in front of the Eastern end of the Mental Health Center. The elevator is done in the same sympathetic style of the staircases and the curved surfaces try to emulate Rudolph's design.



date(s):

circumstances/ reasons for change:

Improved accessibility to the park on the lower level of the plaza, and a likely need to comply with ADA regulations.

effects of changes:

persons/organizations involved:

alteration:

The large plaza in front of the entrance to the Mental Health Center was paved over with concrete and in some places asphalt to create a parking lot.

**Date(s):**

unknown

circumstances/reasons for change:**effects of changes:**

In order to build the parking lot, Rudolph's carefully designed concrete plaza was paved over and is now completely obscured. This largest of the three corner plazas, this space served as the main entrance to the inner courtyard. Large staircases led visitors to an intermediate courtyard level, and eventually to the upper level of the inner courtyard. Today, the pavement stops just short of the undulating benches in front of the Mental Health Center's dining hall. The view through the dining hall's glass curtain wall, which previously looked onto a busy public plaza, is now obscured by cars.

**persons/organizations involved:****Alteration:**

One of the widest staircases in front of the entrance to the Mental Health Center was completely removed and paved over with concrete.



View of demolished staircase and plaza in front of Mental Health Center entrance, and the parking lot that has replaced it. A Vision of Human Space: Paul Rudolph: Boston State Service Center, Black, Carl John , Architectural Record, July, Volume 154, Number 1, p.105-116, (1973)

Date(s):

circumstances/reasons for change:

effects of changes:

persons/organizations involved:

alteration:

Chain-link fences surround the entirety of the buildings.

date(s):

2011

effects of changes:

The chain-link fences have completely altered the public's interaction with the building. These fences were put in place as a way to deal with the problem of a large homeless population that frequents the site. The curved benches that surround the buildings, Rudolph's "social elements" are completely inaccessible, discouraging the use of the complex as a social gathering point. The fences have also cut off any chance to experience the dramatic staircases.

persons/organizations:

Wood & Wire Fence Co., Inc.

3. Description of building(s) etc

3.1 Site/building character

Summarize main character and give notes on surviving site/building(s)/part(s) of area; if a site, principle features and zones of influence and summary of main elements in composition; if a building, main features, construction and materials:

The original plans for Government Service Center called for three buildings, a seven -story building for the Division of Employment Security, a five-story Mental Health Center, and a 23-story tower built to house the Departments of Health, Welfare and Education. Of the three buildings, the tower was never built, and it wasn't until 1999 that the vacant site was filled by the 8-story W. Brooke Courthouse. Rudolph however, saw the tower as the pivotal point of the center's design, anchoring the other buildings that surrounded it.

Occupying a triangular superblock in the Government Center area of Boston, the center is a concerted effort to unify a group of buildings, purposely designed so that they read as a single entity rather than three separate buildings. Placed along the existing street-lines, the perimeter of the massive buildings act as an "urban walls" that relate to the large-scale context. At the corners of the site, the buildings have been set-back to create small plazas.

The inner plaza was to have three levels, with a parking lot underneath, however today it only has two. Entrance to the plaza at the street level is through Cambridge St. between the Division of Employment Security and the Courthouse. The plaza can also be reached by going up the dramatic staircases in front of the Mental Health Center at the corner of Merrimac St. and Staniford St, or through a few half-hidden ramps. Alternatively, 5 entrances through the surrounding buildings open onto the upper level of the plaza. In contrast to the monumentality of the street-facing building exteriors, the buildings facing the plaza step back to a single story, enclosing the courtyard at a pedestrian scale. Smaller inner plazas at lower levels can be seen from the inner courtyard. The buildings perimeter is surrounded by a continuous well, defined by small circular openings that allow light to reach lower floors and also act as drainage basin. The concrete plaza is decorated by patterns of three contrasting textures.¹²

Hoping to create an active public plaza that would coexist with the multi-function civic buildings, Rudolph provides ample space for socializing. Curved benches dot the exterior of the buildings, a serpentine row of benches placed directly in front of the Mental Health Center. According to Rudolph, the elliptical benches "are curved for sociability...they are my social stamen." The spiraling ramps and staircases were meant to act as additional seating space during lunch and afternoon breaks. The courtyard was to be filled with benches, trees planters and sculptures. As seen in many of Rudolph's renderings for the plaza, flags of every state were intended to enliven the plaza, hanging from the horizontal poles of the lighting fixtures. Although Rudolph believed the flags the most effective way to achieve this effect, the costs of upkeep for such flags prevented them from being incorporated. The landscaping that exists today is a result of efforts in the late 1990s, and only one sculpture was incorporated into the plaza, a 30 by 17-foot brass sculpture by Charles Fayette Taylor¹³ that hangs under the pagoda-like portico of the Division of Employment building.

3.2 Current use of whole site:

¹² Paul Rudolph's Elaborated Spaces: Six New Projects, , Architectural Record, June, Volume 139, Number 7, p.135-150, (1966)

¹³ Hub's Most Fascinating Building. Ian Menzies. The Boston Globe, Sept. 9, 1971.

The Mental Health Center and Division of Employment Security Building retain their original functions and are occupied by the Massachusetts Department of Mental Health and several government departments.

of principal components:

The Erich Lindemann center is a 60-bed inpatient unit for court referred and continuing care mental health patients. It is a Joint Commission accredited hospital (JCAHO) operated under the lead of the Department of Psychiatry at Tufts-New England Medical Center. All attending psychiatrists are full-time faculty of Tufts University School of Medicine and Tufts New-England Medical Center. However, the hospital is not a teaching hospital. The length of stay of most patients is relatively long, usually between twenty days and an average of twelve months. Apart from providing continuing treatment for DMH-eligible patients, the center also conducts forensic evaluations to individuals who present through the Massachusetts judicial system. The hospital takes a multidisciplinary approach that includes psychopharmacology, group therapy emphasizing skill-building, insight-oriented and cognitive behavioral psychotherapy, family interventions, Dialectical Behavioral Therapy, and specialty consultations in behavioral neurology and addictions. The hospital consists of 2-18 bed and 1-24 bed units.¹⁴ The Mental Health Center also houses the offices of different homeless shelters, and specialized residential services.

The five story building is occupied as follows:

Ground Floor

- Bureau of State Office Buildings
- Cafeteria

Mezzanine Level

- Central Office
- Office of Program Operations
- Forensic Services
- Office of Consumer and Ex-patient Relations
- Office of Management and Budget
- Administration and Finance
- Next Stop Café
- Department of Mental Health Police

Plaza Level East

- Harbor House-Residential program serving 12 people with persistent mental illness
- Homeless Outreach Team offices

Plaza Level West

- Central Office, Legal Office

Second Floor East

- Boston Emergency Services Team
- Community Rehabilitation Support
- Freedom Trail Clinic

Second Floor West

- Affirmative Action/EEo
- Constituent Services, Central Office

Third Floor East

- West End Transitional Housing Program

¹⁴ The Lindemann Community Mental Health Center, Polaris Healthcare Services Inc., <<http://polarishealthcare.com/description.php?site=Lindemann>>. Accessed July 2011.

Third Floor West

Clinical and Professional Services

Central Office

Fourth Floor

Adult Inpatient units

Chapel

Fifth floor

Infection Control

The Hurley Division of Employment Security Building houses several government agencies including:

Commission of Status of Women

Division of Career Services

Division of Occupational Safety

Employment & Training Department

Group Insurance Commission

Labor Market Division Information

Labor Relations Department

Workforce Development Department

of other elements:

The original staircases around the building can no longer be accessed, blocked off by chain-link fences, as are some of the small inner courtyards.

of surrounding areas:

The surrounding area is typical of metropolitan CBD.

comment(s):

A large homeless population has taken over much of the site, due to the abundance of outdoor shelters or semi-enclosed spaces created by the intricate architectural forms. Many homeless people like to spend their days on the plaza or perimeters of the building, and have taken to storing their possessions throughout the site, and littering the plazas.

**3.3 Present (physical) condition
of whole site:**

of principal components:

Mental Health Center

The Mental Health Center is in relatively good physical condition. The corduroy concrete inside the building is in fair condition, with no major signs of deterioration. Several new partitions have been made throughout the building to accommodate changes in space use. Several windows have shattered and not been replaced.

of other elements:

While the hammered concrete has fared relatively well, many parts of the complex, especially the staircases and the plaza floor, are beginning to crumble and expose the reinforcement bars.

of surrounding areas:

Buildings surrounding the Government Service Center are generally in good condition. The area has continued to develop, attracting new businesses.

comments:

None of the buildings have undergone renovation since their completion.

The chain-link fences surrounding the plaza have blocked off all the fences, making the entire center seem unwelcoming and almost derelict. Trash on the courtyard's green area adds to this effect.

3.4 Note(s) on context, indicating potential developments

In 2003, there were plans to build a new courthouse on the plaza behind the current one.

4. Evaluation**Reasons for selection for DOCOMOMO documentation****Intrinsic value****4.1 technical evaluation:**

Government Service Center uses an innovative hammered concrete technique that gives the buildings their distinctive "corduroy" texture. Invented by Rudolph and first seen in the Yale Art and Architecture School only a few years earlier, the process involves workers pouring a mixture of concrete heavy with aggregate into ribbed molds, and then manually chipping away at every surface to expose the aggregate. Although costly in its implementation, the finished effect is ultimately less expensive as a surface decoration given that no extra elements such as stone slabs need to be added to the concrete. In constructing Government Service Center, four workers were exclusively dedicated to chipping at the concrete. Another benefit of this type of surface is that the buildings seem weathered from their completion, purposely recall ruins, and hide signs of aging extraordinarily well.¹⁵

4.2. social evaluation:

The Health, Welfare and Education Service Center is located within Government Center, Following in Boston's history of taking on large-scale urban reconstruction that goes back to constructing dams around the North Cove in the 17th century, to filling in marshes to create Back Bay, the Government Center urban renewal project of the 1960s transformed approximately 60 hectares of downtown Boston by building large, modern government and office buildings, creating a new mixed-use civic center.

4.3. cultural and aesthetic evaluation:

The Boston Redevelopment Authority in 1960, called on the Government Center Commission to build three distinct and separate buildings as part of the Government Service Center complex. Despite preliminary designs had already been carried out for individual buildings, Rudolph's unified building proposal in 1962 was welcomed by the Government Center Commission, who then instructed all other architects to redesign accordingly. Rudolph maintained that his design for Government Service Center "is undoubtedly one of the first concerted efforts to unify a group of buildings that this country has seen in a number of years."¹⁶

¹⁵ Save a Park. Steve Bailey; Boston Globe; Jul 16, 2003; pg. C.1;

¹⁶ A Conversation with Paul Rudolph, Davern, Jeanne M. , Architectural Record, March, Volume 170, Number 3, p.90-97, (1982)

Comparative significance

4.4 canonical status (local, national, international)

In its massive scale, and use of hammered concrete, it is often compared to the Yale Art and Architecture School in New Haven (1963).

Other Paul Rudolph buildings in the Boston area include the Wellesley College Jewett Art Center (1958) and the Blue Cross-Blue Shield Office (1960). In New England, there is also the Orange County Government Center in New York, and the University of Massachusetts Dartmouth campus.

4.5 historic and reference values:

Bruner/Cott
ARCHITECTS

225 Friend St., Suite 701
Boston, MA 02114
617.492.8400
www.brunercott.com

Appendix H: Private Individuals and Consultants Involved in Proposal Preparation

Real Estate Advisory Services

Stantec Real Estate

226 Causeway Street, Boston

- Drew Leff, Principal
- Alexandra Phillips, Project Manager (*no longer with the firm*)

Site Planning and Urban Design

Stantec Architecture

311 Summer Street, Boston

- Tamara Roy, AIA LEED AP, Principal
- Michael Grant, AIA LEED AP, Associate

Historic Preservation

Bruner / Cott Architects

225 Friend Street, Boston

- Henry Moss, AIA LEED AP, Principal
- Lawrence Cheng, AIA LEED AP, Principal

Financial Analysis

Byrne McKinney & Associates, Inc.

607 Boylston Street, Boston

- Pamela S. McKinney, MAI, Principal

Permitting – Historic Preservation

Epsilon Associates

3 Mill & Main Place, Maynard

- Doug Kelleher, Principal

Legal Services

Krokidas & Bluestein, LLP

600 Atlantic Avenue, Boston

- Kathy Murphy, Partner

Appendix I: Appraisal

TO BE PROVIDED SEPARATELY

Appendix J: Public Hearing Notice

Commonwealth of Massachusetts

Division of Capital Asset Management and Maintenance

Notice of Intent to Submit a Project Proposal to the Asset Management Board and Public Hearing for a Long-Term Lease and Redevelopment of the Charles F. Hurley Building located at 19 Staniford Street in the City of Boston

The Commonwealth of Massachusetts, Division of Capital Asset Management and Maintenance, hereby gives notice under 810 CMR 2.05 that it intends to (i) submit a Project Proposal to the Asset Management Board (the “Board”) and (ii) hold a public hearing on the proposed project which has been granted Preliminary Project Approval by the Board. The proposed project is for a long-term lease in connection with the redevelopment of the Charles F. Hurley Building and adjacent property at 19 Staniford Street in Boston.

The project contemplates redevelopment of the existing 327,000 square foot building and improvements to the 3.25-acre site, including new building improvements. The project will include office space for state agencies as well as the introduction of private uses. The ground lessee(s), selected through a competitive process, will secure all necessary permits, approvals and funding.

The public is invited to visit the “Project Website” at <https://www.mass.gov/hurley-redevelopment>. Copies of the draft Project Proposal will be available on the Project Website starting on Wednesday, December 2, 2020. Copies of the draft Project Proposal are also available from Abigail Vladeck, DCAMM Project Manager at One Ashburton Place, 15th Floor, Boston, MA 02108, or via email: hurleyredev.dcam@mass.gov.

The “Virtual Public Hearing” will be held on December 17, 2020 from 6:30 p.m. to 8:00 p.m. At the Virtual Public Hearing, the public will have the opportunity to provide comments on the proposed project. Information on how to participate in the Virtual Public Hearing will be posted on the Project Website and distributed to the Project Email List in advance.

The deadline for receipt of written comments through the Project Website or directly to Abigail Vladeck (via regular mail or email) is December 23, 2020 at 5:00 p.m. All updates and changes will be posted on the Project Website.

By: Carol Gladstone, Commissioner
Division of Capital Asset Management and Maintenance