


VA State Home Grant Application Package
April 2021



Soldiers' Home in Holyoke

Holyoke, MA

 Department of Veterans Affairs		CHECKLIST OF MAJOR REQUIREMENTS FOR STATE HOME CONSTRUCTION/ACQUISITION GRANTS	
LOCATION		DESCRIPTION	
FAI NUMBER	DUNS	DATE AND TIME SUBMITTED	VA COST \$529,750.00
TO BE FILLED OUT BY VA			
SECTION A - INITIAL APPLICATION PHASE			
<i>Deadline for the initial application is April 15th each year. Complete items A1-A6 for renovation projects OR Complete A1-A7 for life safety projects OR Complete A1-A13 for new construction and bed replacement projects.</i>			
REQUIREMENT			DATE
1. A. Project Scope (<i>use SVHCGP template</i>).			<input type="checkbox"/>
B. Form SF 424.			<input type="checkbox"/>
C. Form SF 424D.			<input type="checkbox"/>
D. Form SF 424C.			<input type="checkbox"/>
E. Budget justification worksheet, tab 1 (<i>supplements SF424C Form</i>).			<input type="checkbox"/>
2. Governor's designation of authorized state official and contact person			<input type="checkbox"/>
3. Needs assessment (<i>must comply with all of Section II, Item 3 Needs Assessment on Form 10-0388-1 Information should reflect most recent U.S. Census data.</i>)			<input type="checkbox"/>
4. State Clearinghouse Comments (<i>E.O. 12372</i>) single point of contact and compliance statement.			<input type="checkbox"/>
5. Schematics for the proposed project.			<input type="checkbox"/>
6. Signed initial application certification (<i>VA Form 10-0388-1</i>).			<input type="checkbox"/>
7. Safety citation/letter (<i>submit only for projects that threaten the life and safety of residents</i>).			<input type="checkbox"/>
8. Space program analysis for nursing home domiciliary (<i>VA Form 10-0388-3</i>) or ADHC (<i>VA Form 10-0388-4</i>).			<input type="checkbox"/>
9. Five-year capital plan for state's entire state home program.			<input type="checkbox"/>
10. Financial plan for state facility's first three years of operation.			<input type="checkbox"/>
11. Documentation that there is a reasonable basis to conclude that the facility when complete will be fully occupied.			<input type="checkbox"/>
12. Authorized state official's certification of the total number of state-operated nursing home and domiciliary beds and occupancy rate.			<input type="checkbox"/>
13. Authorized state official's certification that the number of state home beds does not exceed the requirement in 38 CFR 59.40 or justification for number of state home beds exceeding 38 CFR 59.40 based on travel distance.			<input type="checkbox"/>
TO BE FILLED OUT BY VA			
SECTION B - APPLICATION PHASE			
REQUIREMENT			DATE
1. State matching funds are required by August 1st for consideration for priority group 1.			
A. State authorization for the project (<i>copy of the legislation appropriating the funds or statement from state budget official outlining source of funding</i>).			<input type="checkbox"/>
B. Certificate of State matching funds (<i>VA Form 10-0388-6</i>).			<input type="checkbox"/>

REQUIREMENT		DATE
2. Environmental Review and NEPA Compliance		
A. Submit Phase I environmental site assessment (<i>ASTM E1527-13</i>) if conducting ground-disturbing activities or acquiring new site.	<input type="checkbox"/>	
B. Complete categorical exclusion (CatEx) form, if a CatEx applies. If potential extraordinary circumstances or activities with potential effects are indicated on CatEx form, submit description, plan, regulatory compliance, and protective measures. Conduct environmental assessment if not covered by a CatEx.	<input type="checkbox"/>	
3. Letter from state historical preservation officer.	<input type="checkbox"/>	
4. Design development drawings and specifications (<i>35 percent</i>).	<input type="checkbox"/>	
5. Required certifications from the authorizing state official is required for grant award:		
A. Compliance Regarding Debarment, Suspension, And Other Responsibility Matters For Primary Covered Transactions (<i>VA Form 10-0388-7</i>).	<input type="checkbox"/>	
B. Compliance with Drug-Free Workplace (<i>VA Form 10-0388-8</i>).	<input type="checkbox"/>	
C. Compliance with Lobbying Act (<i>VA Form 10-0388-9</i>).	<input type="checkbox"/>	
D. Compliance with The Davis-Bacon Act (<i>VA Form 10-0388-2</i>).	<input type="checkbox"/>	
6. Conditional Request Letter: If aforementioned requirements are met, and federal funds are available, then a request for conditional approval may be submitted to VA with written assurance applicant will meet remaining requirements within 180 days after the conditional award letter is signed.	<input type="checkbox"/>	
7. The following items are needed for final award:		
A. Final drawings and specifications (<i>100 percent</i>).	<input type="checkbox"/>	
B. Advertisement for Bids (if using CMAR, copy of selection process).	<input type="checkbox"/>	
C. Final Budget Justification Worksheet, Tabs 1 and 2.	<input type="checkbox"/>	
D. 1. Certification Regarding Debarment, Suspension, Ineligibility and Voluntary Exclusion From Contractor(s) (<i>VA Form 10-0388-12</i>).	<input type="checkbox"/>	
2. SAM Search Results.	<input type="checkbox"/>	
E. 1. Final Budget Form SF 424C.	<input type="checkbox"/>	
2. Final SF 424 Form.	<input type="checkbox"/>	
F. Certification of Compliance with Federal Regulations (<i>VA Form 10-0388-10</i>).	<input type="checkbox"/>	
G. Reasonable assurance of title to State Home.	<input type="checkbox"/>	
H. Signed Application Certification (<i>VA Form 10-0388-5</i>).	<input type="checkbox"/>	
I. Three (3) signed copies of Memorandum of Agreement. (<i>delivered by Overnight Mail</i>)	<input type="checkbox"/>	
TO BE FILLED OUT BY VA		
SECTION C - POST GRANT AWARD (<i>Required for Grant Closeout</i>)		
REQUIREMENT		DATE
1. Closeout request letter (<i>submitted when construction is 90% completed</i>).	<input type="checkbox"/>	
2. Final Project Photos.	<input type="checkbox"/>	
3. Equipment list (<i>if applicable</i>).	<input type="checkbox"/>	
4. Signed Post-Grant Requirements Certification (<i>VA Form 10-0388-13</i>).	<input type="checkbox"/>	
5. Copy of letter to state auditor.	<input type="checkbox"/>	
6. Final Payment Request (<i>VA Form SF271</i>).	<input type="checkbox"/>	
7. Report of audit findings (<i>report must show compliance with Single Audit Act of 1984 and, if applicable, resolution of audit findings</i>).	<input type="checkbox"/>	
8. Proof of compliance with NHPA Section 106 (<i>if applicable</i>).	<input type="checkbox"/>	
9. Proof of compliance with NEPA mitigation measures (<i>if applicable</i>).	<input type="checkbox"/>	

Submit all documentation on MAX.gov except for hard copy MOAs.

A1

- A. Project Scope
- B. Form SF 424
- C. Form SF 424D
- D. Form SF 424C
- E. Budget justification worksheet, tab 1 (supplements SF 424C Form)

PROJECT ABSTRACT

Project Name: **Soldiers' Home in Holyoke, MA
Long Term Care Replacement Facility**

Date: 4/8/2021

Location: **Holyoke, MA**



Proposed Soldiers' Home in Holyoke Replacement Facility

Project Overview

New Construction for Bed Replacement

Existing Conditions

The Soldiers' Home in Holyoke is an existing facility that was built in 1952 and expanded with several additions in the 1970's. Over its lifetime, it has seen several interior upgrades and renovations. The current building is 227,915 square feet and is located on the hilltop of a 16.6-acre property. The facility houses 235 long-term care beds, including dementia care beds, plus 30 domiciliary beds. The current facility has many triple and quadruple-bed rooms and no private baths, and it is operating at a reduced bed capacity due to the Covid-19 pandemic. There is also a small outpatient clinic within the building but not part of the long-term care facility.

A study by the architectural firm Payette Associates, Inc., completed November 11, 2020, determined that the floor plate dimensions, floor configuration, and floor-to-floor heights of the existing building are not conducive for renovation into a modern long-term care facility. The current facility must therefore be replaced. The existing facility will remain operational while a new facility is built next to it, and once residents are relocated to the new facility, the existing building will be demolished. None of the veterans currently in long-term care will be displaced by the construction of the replacement facility.

Building Program & Design Framework

The new 332,660 square foot facility will be eight stories tall with a single-level basement. It will provide 234 long term care beds. 30 on which are designed for memory care. The existing domiciliary beds and outpatient clinic operations will be phased out, but an Adult Day Health facility is proposed as part of the replacement building.

Typical Resident Floor

The new facility is designed utilizing the VA's small house model, with minor modifications to the living and dining spaces in each home. Each resident floor of the proposed new building is designed with 2 to 3 homes per floor, typically with 12 beds per home, accommodating a maximum of 36 Veterans per floor. Most rooms are single occupancy with private baths, but one room in each home is larger than a standard room so that it can function as a double, a couple's room, or a bariatric room. Each home also has a private den to provide residents and families with a quiet space. In lieu of providing a separate living and dining facility for each home, one central space with multiple nodes for living, dining, and activity functions is provided on each floor. This allows for a variety of adaptable spaces to engage the Veterans throughout the day with various activities.

Memory Care

The second floor of the facility is specifically designed for dementia, (memory), care and is configured somewhat differently than the other floors. On level 2, each home is reduced to 10 beds each and has its own living and dining spaces to minimize the potential for any overstimulation that a central shared living /dining space may provide. The dementia floor has a private elevator that accesses a secure outdoor garden area.

Community & Support Services

Level one and the basement of the new facility provide both resident services and support facilities. Level one provides a great room (community center), chapel, café, store, dental clinic, hair salon, and PT/OT facilities for use by all residents. Residents also have access on this level to several outdoor garden spaces and activities, including a greenhouse and an open-air pavilion. The total of the resident service spaces on level one is 25,700 gross square feet. The basement of the new building is all support space including a central kitchen, pharmacy, loading dock, maintenance shops, storage, and mechanical rooms of approximately 35,400 gross square feet.

Adult Day Health

Also included on level one is an administration suite of approximately 9,500 gross square feet and the Adult Day Health facility of approximately 6,700 gross square feet. The Adult Day Health facility, while located in the same building as Long-Term Care, is provided with a separate entrance and drop-off area.

Site Work & Utilities

Site work for the replacement facility includes excavations for the new building, replacement of existing site utility services, construction of a fire road around the new facility (which the existing facility does not have), a geothermal well field to provide heating and cooling for the new building, replacement of the existing parking lot and site pedestrian walkways, new site lighting, construction of a new loading dock, and construction of a new 2,400sf service garage for maintenance vehicles. Demolition of the existing structure, including removal of the existing basement and foundations will be required, and the remaining hole from demolition will be infilled and graded to serve as parking, drop-off, and new garden areas.

Cost Estimates

The estimated construction cost for the new building is \$275.47M. Demolition of the existing building and the necessary site and utility work is expected to add \$53.19M to the construction cost. After accounting for the other soft costs, (administrative and legal expenses, acquisition, relocation, architectural and engineering fees, inspection fees, and equipment), and 5% contingency, the Total Project Cost is estimated at \$375.5M. Upon excluding \$7.01M in Adult Day Health construction costs and Schematic Design fees, the Total Allowable Cost is estimated at \$368,486,000.

Sustainability Goals

The proposed facility is being designed as a “Net Zero Energy Ready” (NZER) building, to meet the Commonwealth of Massachusetts’s goal to achieve Net Zero carbon emission by 2050. The new Soldiers’ Home will be one of the first Commonwealth-owned and operated healthcare facilities to achieve LEED Gold certification and will exceed the requirement of the state code by 20%.

Ongoing Projects

Current VA state home grants affected by this bed replacement include FAI 25-082, the 5th Floor Emergency Egress Project, for which the work is complete. That work occurred in the existing building that will be demolished in 2026. That project is requesting funds through the program for reimbursement.

There are no known agreements between the Soldier’s Home in Holyoke and the Northampton VA Medical Center that are affected by this project.

Summary Project Data

Site Area	16.6 Ac
Proposed Building Area	332,660 GSF (incl. Adult Day Health)
Adult Day Health	6,700 GSF
Long-term Beds	234 Beds
Estimated Building Cost	\$275,470,000 (incl Adult Day Health)
Estimated Demolition Cost	\$10,030,000.
Estimated Site Work	\$43,160,000.
Sub-total Construction Cost	328,990,000
Other Costs ⁱ	\$30,406,000
Contingency	\$16,433,000

Total Project Cost	\$375,500,000
Cost not allowable for participation	(\$7,014,000)
Total Allowable Costs	\$368,486,000

Cost/Bed ⁱⁱ	\$1,154,000
Estimated Construction Cost (ADH)	\$5,340,000

Number of homes per floor	2 to 3 homes/floor
Number of beds per home	10-12 beds/home
Level 1 Resident Services	25,700 GSF
Level 1 Admin Suite	9,500 GSF
Basement Building Support Spaces	35,400 GSF

ⁱ Other costs include administrative and legal expenses, acquisition costs, relocation expenses, architectural and engineering fees, project inspection fees, and equipment costs.

ⁱⁱ Excludes sitework, demolition, ADH, and other costs.

This Workspace form is one of the forms you need to complete prior to submitting your Application Package. This form can be completed in its entirety offline using Adobe Reader. You can save your form by clicking the "Save" button and see any errors by clicking the "Check For Errors" button. In-progress and completed forms can be uploaded at any time to Grants.gov using the Workspace feature.

When you open a form, required fields are highlighted in yellow with a red border. Optional fields and completed fields are displayed in white. If you enter invalid or incomplete information in a field, you will receive an error message. Additional instructions and FAQs about the Application Package can be found in the Grants.gov Applicants tab.

OPPORTUNITY & PACKAGE DETAILS:

Opportunity Number:	VA-GRANTS-112508-002
Opportunity Title:	State Veterans Home Construction Grant Program
Opportunity Package ID:	PKG00022340
CFDA Number:	64.005
CFDA Description:	Grants to States for Construction of State Home Facilities
Competition ID:	
Competition Title:	
Opening Date:	08/20/2011
Closing Date:	12/31/2025
Agency:	Construction of State Home Facilities
Contact Information:	Anna Gaug anna.gaug@va.gov

APPLICANT & WORKSPACE DETAILS:

Workspace ID:	WS00632432
Application Filing Name:	Soldiers Home in Holyoke LTC Facility and Campus Framework
DUNS:	0426881650000
Organization:	SOLDIERS HOME IN HOLYOKE
Form Name:	Application for Federal Assistance (SF-424)
Form Version:	2.1
Requirement:	Mandatory
Download Date/Time:	Apr 05, 2021 10:51:04 AM EDT
Form State:	No Errors

FORM ACTIONS:

Application for Federal Assistance SF-424

* 1. Type of Submission:

- ☐ Preapplication
☒ Application
☐ Changed/Corrected Application

* 2. Type of Application:

- ☒ New
☐ Continuation
☐ Revision

* If Revision, select appropriate letter(s):

* Other (Specify):

* 3. Date Received:

Completed by Grants.gov upon submission.

4. Applicant Identifier:

5a. Federal Entity Identifier:

5b. Federal Award Identifier:

State Use Only:

6. Date Received by State:

7. State Application Identifier:

8. APPLICANT INFORMATION:

* a. Legal Name:

Soldiers Home in Holyoke, Massachusetts

* b. Employer/Taxpayer Identification Number (EIN/TIN):

04-6002284

* c. Organizational DUNS:

0426881650000

d. Address:

* Street1:

110 Cherry Street

Street2:

* City:

Holyoke

County/Parish:

* State:

MA: Massachusetts

Province:

* Country:

USA: UNITED STATES

* Zip / Postal Code:

01040-1199

e. Organizational Unit:

Department Name:

Division Name:

f. Name and contact information of person to be contacted on matters involving this application:

Prefix:

* First Name:

Glen

Middle Name:

* Last Name:

Hevy

Suffix:

Title:

Deputy Superintendent

Organizational Affiliation:

* Telephone Number:

413-552-4706

Fax Number:

* Email:

glen.hevy@mass.gov

Application for Federal Assistance SF-424

* 9. Type of Applicant 1: Select Applicant Type:

A: State Government

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

* Other (specify):

* 10. Name of Federal Agency:

Construction of State Home Facilities

11. Catalog of Federal Domestic Assistance Number:

64.005

CFDA Title:

Grants to States for Construction of State Home Facilities

* 12. Funding Opportunity Number:

VA-GRANTS-112508-002

* Title:

State Veterans Home Construction Grant Program

13. Competition Identification Number:

Title:

14. Areas Affected by Project (Cities, Counties, States, etc.):

Add Attachment

Delete Attachment

View Attachment

* 15. Descriptive Title of Applicant's Project:

Construction of a 234 bed Community Living Center Facility based on the VA's Small House Design guidance.

Attach supporting documents as specified in agency instructions.

Add Attachments

Delete Attachments

View Attachments

Application for Federal Assistance SF-424**16. Congressional Districts Of:*** a. Applicant * b. Program/Project

Attach an additional list of Program/Project Congressional Districts if needed.

17. Proposed Project:* a. Start Date: * b. End Date: **18. Estimated Funding (\$):**

* a. Federal	<input type="text" value="244,075,000.00"/>
* b. Applicant	<input type="text" value="0.00"/>
* c. State	<input type="text" value="131,425,000.00"/>
* d. Local	<input type="text" value="0.00"/>
* e. Other	<input type="text" value="0.00"/>
* f. Program Income	<input type="text" value="0.00"/>
* g. TOTAL	<input type="text" value="375,500,000.00"/>

*** 19. Is Application Subject to Review By State Under Executive Order 12372 Process?**

- ☐ a. This application was made available to the State under the Executive Order 12372 Process for review on .
- ☐ b. Program is subject to E.O. 12372 but has not been selected by the State for review.
- ☒ c. Program is not covered by E.O. 12372.

*** 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)**☐ Yes ☒ No

If "Yes", provide explanation and attach

21. *By signing this application, I certify (1) to the statements contained in the list of certifications and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 218, Section 1001)**

☒ ** I AGREE

** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.

Authorized Representative:

Prefix: * First Name:

Middle Name:

* Last Name:

Suffix:

* Title: * Telephone Number: Fax Number: * Email: * Signature of Authorized Representative: * Date Signed:

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DUNS:	0426881650000
Organization:	SOLDIERS HOME IN HOLYOKE
Form Name:	Assurances for Construction Programs (SF-424D)
Form Version:	1.1
Requirement:	Mandatory
Download Date/Time:	Apr 05, 2021 10:52:45 AM EDT
Form State:	No Errors

FORM ACTIONS:

ASSURANCES - CONSTRUCTION PROGRAMS

OMB Number: 4040-0009
Expiration Date: 02/28/2022

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding the burden estimate or any other aspect of this collection of information, including suggestions for reducing this burden, to the Office of Management and Budget, Paperwork Reduction Project (0348-0042), Washington, DC 20503.

PLEASE DO NOT RETURN YOUR COMPLETED FORM TO THE OFFICE OF MANAGEMENT AND BUDGET. SEND IT TO THE ADDRESS PROVIDED BY THE SPONSORING AGENCY.

NOTE: Certain of these assurances may not be applicable to your project or program. If you have questions, please contact the Awarding Agency. Further, certain Federal assistance awarding agencies may require applicants to certify to additional assurances. If such is the case, you will be notified.

As the duly authorized representative of the applicant, I certify that the applicant:

1. Has the legal authority to apply for Federal assistance, and the institutional, managerial and financial capability (including funds sufficient to pay the non-Federal share of project costs) to ensure proper planning, management and completion of project described in this application.
2. Will give the awarding agency, the Comptroller General of the United States and, if appropriate, the State, the right to examine all records, books, papers, or documents related to the assistance; and will establish a proper accounting system in accordance with generally accepted accounting standards or agency directives.
3. Will not dispose of, modify the use of, or change the terms of the real property title or other interest in the site and facilities without permission and instructions from the awarding agency. Will record the Federal awarding agency directives and will include a covenant in the title of real property acquired in whole or in part with Federal assistance funds to assure non-discrimination during the useful life of the project.
4. Will comply with the requirements of the assistance awarding agency with regard to the drafting, review and approval of construction plans and specifications.
5. Will provide and maintain competent and adequate engineering supervision at the construction site to ensure that the complete work conforms with the approved plans and specifications and will furnish progressive reports and such other information as may be required by the assistance awarding agency or State.
6. Will initiate and complete the work within the applicable time frame after receipt of approval of the awarding agency.
7. Will establish safeguards to prohibit employees from using their positions for a purpose that constitutes or presents the appearance of personal or organizational conflict of interest, or personal gain.
8. Will comply with the Intergovernmental Personnel Act of 1970 (42 U.S.C. §§4728-4763) relating to prescribed standards of merit systems for programs funded under one of the 19 statutes or regulations specified in Appendix A of OPM's Standards for a Merit System of Personnel Administration (5 C.F.R. 900, Subpart F).
9. Will comply with the Lead-Based Paint Poisoning Prevention Act (42 U.S.C. §§4801 et seq.) which prohibits the use of lead-based paint in construction or rehabilitation of residence structures.
10. Will comply with all Federal statutes relating to non-discrimination. These include but are not limited to: (a) Title VI of the Civil Rights Act of 1964 (P.L. 88-352) which prohibits discrimination on the basis of race, color or national origin; (b) Title IX of the Education Amendments of 1972, as amended (20 U.S.C. §§1681 1683, and 1685-1686), which prohibits discrimination on the basis of sex; (c) Section 504 of the Rehabilitation Act of 1973, as amended (29 U.S.C. §794), which prohibits discrimination on the basis of handicaps; (d) the Age Discrimination Act of 1975, as amended (42 U.S.C. §§6101-6107), which prohibits discrimination on the basis of age; (e) the Drug Abuse Office and Treatment Act of 1972 (P.L. 92-255), as amended relating to nondiscrimination on the basis of drug abuse; (f) the Comprehensive Alcohol Abuse and Alcoholism Prevention, Treatment and Rehabilitation Act of 1970 (P.L. 91-616), as amended, relating to nondiscrimination on the basis of alcohol abuse or alcoholism; (g) §§523 and 527 of the Public Health Service Act of 1912 (42 U.S.C. §§290 dd-3 and 290 ee 3), as amended, relating to confidentiality of alcohol and drug abuse patient records; (h) Title VIII of the Civil Rights Act of 1968 (42 U.S.C. §§3601 et seq.), as amended, relating to nondiscrimination in the sale, rental or financing of housing; (i) any other nondiscrimination provisions in the specific statute(s) under which application for Federal assistance is being made; and (j) the requirements of any other nondiscrimination statute(s) which may apply to the application.

11. Will comply, or has already complied, with the requirements of Titles II and III of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970 (P.L. 91-646) which provide for fair and equitable treatment of persons displaced or whose property is acquired as a result of Federal and federally-assisted programs. These requirements apply to all interests in real property acquired for project purposes regardless of Federal participation in purchases.
12. Will comply with the provisions of the Hatch Act (5 U.S.C. §§1501-1508 and 7324-7328) which limit the political activities of employees whose principal employment activities are funded in whole or in part with Federal funds.
13. Will comply, as applicable, with the provisions of the Davis-Bacon Act (40 U.S.C. §§276a to 276a-7), the Copeland Act (40 U.S.C. §276c and 18 U.S.C. §874), and the Contract Work Hours and Safety Standards Act (40 U.S.C. §§327-333) regarding labor standards for federally-assisted construction subagreements.
14. Will comply with flood insurance purchase requirements of Section 102(a) of the Flood Disaster Protection Act of 1973 (P.L. 93-234) which requires recipients in a special flood hazard area to participate in the program and to purchase flood insurance if the total cost of insurable construction and acquisition is \$10,000 or more.
15. Will comply with environmental standards which may be prescribed pursuant to the following: (a) institution of environmental quality control measures under the National Environmental Policy Act of 1969 (P.L. 91-190) and Executive Order (EO) 11514; (b) notification of violating facilities pursuant to EO 11738; (c) protection of wetlands pursuant to EO 11990; (d) evaluation of flood hazards in floodplains in accordance with EO 11988; (e) assurance of project consistency with the approved State management program developed under the Coastal Zone Management Act of 1972 (16 U.S.C. §§1451 et seq.); (f) conformity of Federal actions to State (Clean Air) implementation Plans under Section 176(c) of the Clean Air Act of 1955, as amended (42 U.S.C. §§7401 et seq.); (g) protection of underground sources of drinking water under the Safe Drinking Water Act of 1974, as amended (P.L. 93-523); and, (h) protection of endangered species under the Endangered Species Act of 1973, as amended (P.L. 93-205).
16. Will comply with the Wild and Scenic Rivers Act of 1968 (16 U.S.C. §§1271 et seq.) related to protecting components or potential components of the national wild and scenic rivers system.
17. Will assist the awarding agency in assuring compliance with Section 106 of the National Historic Preservation Act of 1966, as amended (16 U.S.C. §470), EO 11593 (identification and protection of historic properties), and the Archaeological and Historic Preservation Act of 1974 (16 U.S.C. §§469a-1 et seq.).
18. Will cause to be performed the required financial and compliance audits in accordance with the Single Audit Act Amendments of 1996 and OMB Circular No. A-133, "Audits of States, Local Governments, and Non-Profit Organizations."
19. Will comply with all applicable requirements of all other Federal laws, executive orders, regulations, and policies governing this program.
20. Will comply with the requirements of Section 106(g) of the Trafficking Victims Protection Act (TVPA) of 2000, as amended (22 U.S.C. 7104) which prohibits grant award recipients or a sub-recipient from (1) Engaging in severe forms of trafficking in persons during the period of time that the award is in effect (2) Procuring a commercial sex act during the period of time that the award is in effect or (3) Using forced labor in the performance of the award or subawards under the award.

SIGNATURE OF AUTHORIZED CERTIFYING OFFICIAL <input type="text" value="Completed on submission to Grants.gov"/>	TITLE <input type="text" value="Deputy Superintendent"/>
APPLICANT ORGANIZATION <input type="text" value="Soldiers Home in Holyoke, Massachusetts"/>	DATE SUBMITTED <input type="text" value="Completed on submission to Grants.gov"/>

BUDGET INFORMATION - Construction Programs

NOTE: Certain Federal assistance programs require additional computations to arrive at the Federal share of project costs eligible for participation. If such is the case, you will be notified.

COST CLASSIFICATION	a. Total Cost	b. Costs Not Allowable for Participation	c. Total Allowable Costs (Columns a-b)
1. Administrative and legal expenses	\$ 950,000.00	\$	\$ 950,000.00
2. Land, structures, rights-of-way, appraisals, etc.	\$ 400,000.00	\$	\$ 400,000.00
3. Relocation expenses and payments	\$ 650,000.00	\$	\$ 650,000.00
4. Architectural and engineering fees	\$ 17,200,000.00	\$ 1,674,000.00	\$ 15,526,000.00
5. Other architectural and engineering fees	\$ 3,550,000.00	\$	\$ 3,550,000.00
6. Project inspection fees	\$ 400,000.00	\$	\$ 400,000.00
7. Site work	\$ 43,160,060.00	\$	\$ 43,160,060.00
8. Demolition and removal	\$ 10,030,000.00	\$	\$ 10,030,000.00
9. Construction	\$ 275,470,483.00	\$ 5,340,000.00	\$ 270,130,483.00
10. Equipment	\$ 7,256,430.00	\$	\$ 7,256,430.00
11. Miscellaneous	\$	\$	\$
12. SUBTOTAL (sum of lines 1-11)	\$ 359,066,973.00	\$ 7,014,000.00	\$ 352,052,973.00
13. Contingencies	\$ 16,433,027.00	\$	\$ 16,433,027.00
14. SUBTOTAL	\$ 375,500,000.00	\$ 7,014,000.00	\$ 368,486,000.00
15. Project (program) income	\$	\$	\$
16. TOTAL PROJECT COSTS (subtract #15 from #14)	\$ 375,500,000.00	\$ 7,014,000.00	\$ 368,486,000.00
FEDERAL FUNDING			
17. Federal assistance requested, calculate as follows: (Consult Federal agency for Federal percentage share.) Enter eligible costs from line 16c Multiply X 65 % Enter the resulting Federal share.			\$ 239,515,900.00

BUDGET JUSTIFICATION WORKSHEET

Project #: FAI-
 State: Massachusetts
 Location: Holyoke
 Project Name: Soldier's Home in Holyoke
 Project Type: New Construction
 # of Beds: 234
 # of Floors: 8

Date Prepared: 4/3/2021
 Expected Construction Contract Award Date: 6/1/2022
 Escalation Rate: 3.90%
 Total Project Site Area (AC): 11
 New Building Construction Area (SF): 332,662
 Building Renovations Area (SF): 0
 Total Building Area (SF): 332,662

NOTE: All costs should include taxes and the contractor's general conditions, bonds & insurance, overhead & profit.

SF-424c - LINE 9
 CONSTRUCTION
 COSTS

Provide a narrative description of the construction or renovation work to be accomplished.

DESCRIPTION	QUANTITY	UNIT OF MEASURE	COST PER UNIT	COST
NEW BUILDING CONSTRUCTION	332,662	SF	797	\$265,130,397.50
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
SUBTOTAL CONSTRUCTION COST				\$265,130,397.50
			ESCALATION	\$10,340,085.50
TOTAL CONSTRUCTION COST (Enter on Line 9 of SF-424c)				\$275,470,483.00

SF-424c - LINE 7
 SITEWORK
 COSTS

Provide a narrative description of the sitework to be accomplished.

DESCRIPTION	QUANTITY	UNIT OF MEASURE	COST PER UNIT	COST
SITE DEMOLITION AND CLEARANCE	411,000	SF	2	\$800,000.00
SITE CONSTRUCTION PREPARATION	411,000	SF	9	\$3,670,000.00
EXCAVATIONS AND GRADING	411,000	SF	22	\$9,230,000.00
SOILS IMPORT / HAULING / MANAGEMENT	411,000	SF	22	\$8,950,000.00
SITE RETAINING WALLS	411,000	SF	12	\$4,830,000.00
SITE UTILITIES	1	LS	4,490,000	\$4,490,000.00
ROADS, WALKWAYS AND PARKING	130,070	SF	32	\$4,200,000.00
LANDSCAPING & SITE FURNISHINGS	280,930	SF	19	\$5,370,000.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
SUBTOTAL SITEWORK COST				\$41,540,000.00
			ESCALATION	\$1,620,060.00
TOTAL SITEWORK COST (Enter on Line 7 of SF-424c)				\$43,160,060.00

SF-424c - LINE 8
 DEMOLITION
 & REMOVAL
 COSTS

Provide a narrative description of the demolition & removal work to be accomplished.

DESCRIPTION	QUANTITY	UNIT OF MEASURE	COST PER UNIT	COST
BUILDING DEMOLITION	227,915	SF	42	\$9,653,512.99
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
				\$0.00
SUBTOTAL DEMOLITION & REMOVAL COST				\$9,653,512.99
			ESCALATION	\$376,487.01
TOTAL DEMOLITION & REMOVAL COST (Enter on Line 8 of SF-424c)				\$10,030,000.00

A2

Governor's designation of authorized state official and contact person



The Commonwealth of Massachusetts
Executive Office of Health and Human Services
Soldiers' Home in Holyoke
110 Cherry Street
Holyoke, MA 01040-2829
TEL: (413) 532-9475 FAX: (413) 538-7968
www.mass.gov/hly/

CHARLES D. BAKER
Governor

KARYN E. POLITO
Lieutenant Governor

MARYLOU SUDDERS
Secretary, EOHHS

CHERYL LUSSIER POPPE
Secretary, DVS

MICHAEL LAZO
Interim Superintendent

March 22, 2021

Anna Gaug
Program Manager
U.S. Department of Veterans Affairs
State Home Construction Grant Program (10NA5)

Re: Soldiers Home in Holyoke Long Term Care Facility and Campus Framework

Dear Ms. Gaug,

This is to inform you that Glen Hevy, Deputy Superintendent for the Soldiers' Home in Holyoke is hereby designated as the official and contact person to act and be responsible in all matters relating to the Soldiers Home in Holyoke Building Project.

All correspondence regarding the Soldiers Home in Holyoke Long Term Care Building Project may be directed to Glen Hevy who can be reached at 413-552-4706 or glen.hevy@mass.gov.

Sincerely,

A handwritten signature in black ink that reads "Michael Lazo".

Michael Lazo, MBA
Interim Superintendent
Soldiers' Home in Holyoke

A3

Needs assessment (must comply with all of the Section II, Item 3 Needs Assessment on Form 10-0388-1, Information should reflect most recent U.S. Census Data

NEEDS ASSESSMENT

234-Bed Replacement Community Living Center at the Soldiers' Home in Holyoke

Holyoke, Massachusetts

I. Project Overview

The long-term care facility located at the Soldiers' Home in Holyoke (HLY) must be replaced or reconfigured. It is functionally obsolete with multi-occupancy bedrooms and shared toilets, with current ratios of up to 9 residents per toilet. It does not meet the U.S. Department of Veterans Affairs (VA) nor Centers for Medicare & Medicaid (CMS) space requirements for privacy, social activities space, access to private bathroom facilities, and general quality of life. In fact, the occupancy was previously so dense, the census was artificially limited to 235 in 2017.

The devastating impact of Covid-19 underscored the functional obsolescence of the facility and the enhanced need to support critical infection control protocols and requirements. While the Commonwealth has completed and continues to deploy short term mitigation strategies, a long-term permanent solution is necessary.

HLY proposes to develop a new Community Living Center (CLC) which meets all current criteria for standard-of-care and embodies the architectural requirements in and the spirit of the VA's *Small House Model Design Guide*, issued in January 2017. The "House" is a residence for 10, 12 to 14 Veterans. The House is based on the "small house" model of care, which is defined as intimate, small scale, and residential to accomplish the goal of skilled care in a home setting. The "Home" implies a nurturing, familial environment. The purpose of the House design is to foster a feeling of family and to help support mutually beneficial relationships between residents and staff. The House functions as a household while providing added safety and security for the resident Veterans¹. The Neighborhood serves multiple houses and provides a setting with residents and staff come together for programs/activities on a scheduled or non-scheduled basis. The House and Neighborhood contain the daily activity and support, while the Community Center functions as the "town center" and provides destination spaces and services, such as a Great Room for concerts, a chapel and a salon. Rehab services are also in the Community Center.

The facility proposed for HLY will be comprised of houses of ~12 Veterans, grouped into cohorts of three homes, or ~36 Veterans in a Neighborhood/floor. The rooms, clinical support spaces, and quiet space/solarium (aka "den") are at the house level. Dining and activities are at the Neighborhood level. The dementia homes hold 10 residents with more distributed neighborhood functions on a 30-bed floor. The needs assessment supports a demand for 234 resident rooms/beds in the Holyoke Soldiers' Home facility. If the Holyoke Soldiers' Home were planned with significantly fewer than 234 beds, an increased reliance on community beds would be necessary which is not typically the Veteran or the Veteran family's preference. Conversely, a HLY facility with more than about 234 long-term beds is not supported by the current site and would not allow for optimal space/room utilization rates.

The new facility also includes a medical model Adult Day Health program. This program enables participants to receive skilled nursing care while living at home and is designed to promote socialization, stimulation and maximize the participant's independence while enhancing quality of life.

II. History of the Holyoke Soldiers' Home

Holyoke Soldiers' Home was established in 1952 following World War II, when the Commonwealth saw an influx of wounded Veterans requiring long-term care. At that time, the only designated state facility for this purpose was the Soldiers' Home in Chelsea (CHE), approximately 100 miles to the east, outside of Boston. To accommodate Veterans on CHE's growing waiting list and to provide services in the Central/Western regions of Massachusetts, the Commonwealth established the Holyoke Soldiers' Home. Its mission is to provide 'Care with Honor and Dignity' in the best possible health care environment for eligible Veterans who reside in the Commonwealth of Massachusetts.

Today HLY is a fully accredited, multi-faceted, multi-building healthcare campus that offers Veterans long-term care and select outpatient care services including primary care, ophthalmology, optometry, podiatry, hematology, urology, dental and pharmacy services. A domiciliary providing temporary housing is also located in a separate building on the site.

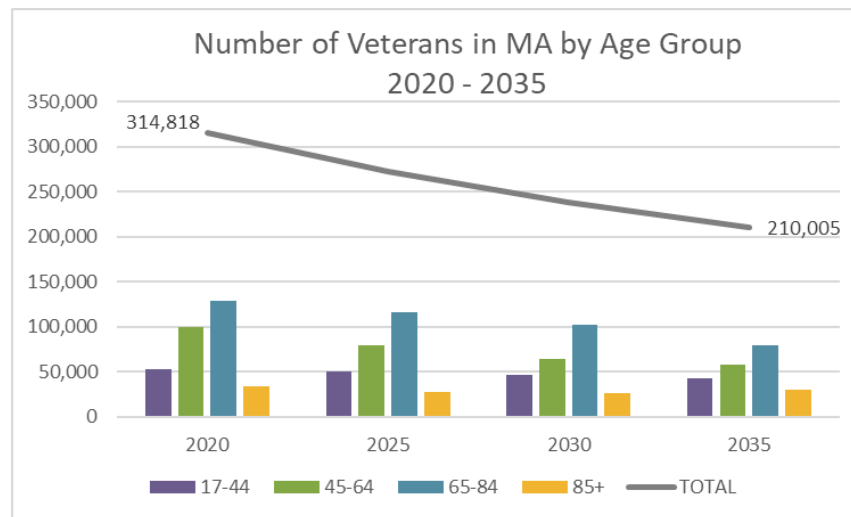


The Holyoke Soldiers' Home campus atop Cherry Hill, as seen from Interstate 91

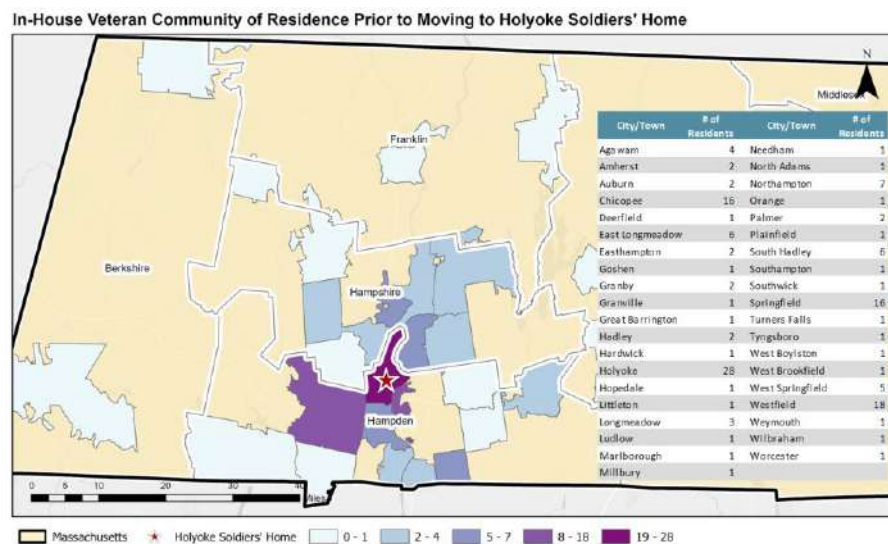
III. Analysis of Need

a) Veteran Population and 2035 Forecasts

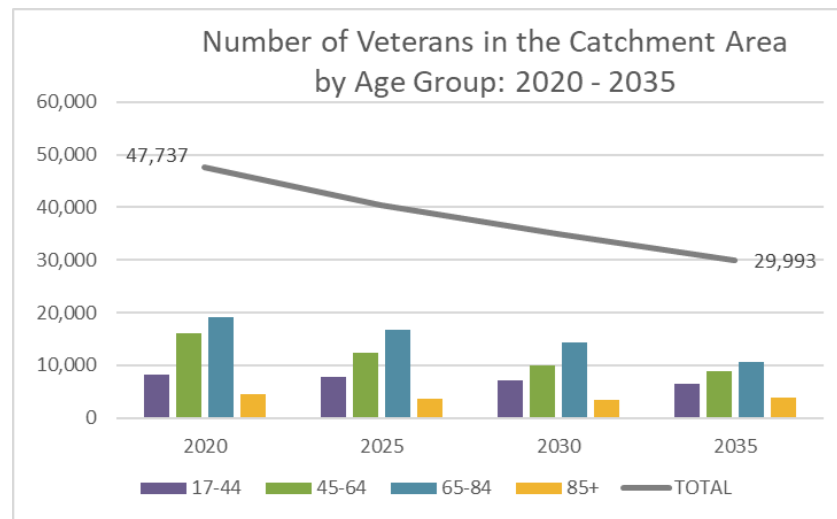
The current Veteran population in Massachusetts is 314,818. This number is projected to decline to 210,005 (33%) by 2035 according to the VA National Center for Veterans Analysis and Statisticsⁱⁱ. Notably, the population aged 85+ (the average age of a resident) will decline by 13%.



Although Veterans residing anywhere in the Commonwealth are eligible for care at Holyoke Soldiers' Home, the overwhelming majority of current residents live in Berkshire, Franklin, Hampden or Hampshire County prior to moving to HLY because Veterans typically prefer to utilize long-term care facilities close to their homes. These four counties make up the Holyoke Soldiers' Home catchment area, while the other counties in Massachusetts constitute the Chelsea Soldiers' Homes catchment area. Within the HLY catchment area, 70% of residents originated from Hampden County and 20% came from the town of Holyoke specifically, as displayed in the following map.



47,737 Veterans currently live in HLY's catchment area. By 2035, this number is projected to decline to 29,993 (37%), which is a slightly steeper decline than the Veteran population of the Commonwealth (33%). Specifically, and most relevant to bed need, the population aged 85+ is forecasted to decline by 12% and the population aged 65-84 (the next most common group) is forecasted to decline by 44%. This results in an age-adjusted decline (based on 2019 census) of 24% in the Veteran population.



When 2019 long-term care bed occupancy rates by age and gender are applied to the 2035 projected Veteran population in the HLY catchment area, the projected bed need is 234 beds, as displayed in the following chart.

Long Term Care								
Age	FY19 Census			Vet Pop Forecast		Projected 2035 Census (population change only)		
	Male	Female	Total	Male	Female	Male	Female	Total
85+	133	9	142	-13%	30%	116	12	128
65-84	90	1	91	-48%	50%	47	2	49
45-64	2	-	2	-47%	-22%	1	-	1
17-44	-	-	-	-22%	-12%	-	-	-
Total	225	10	235	-40%	4%	164	14	178

Note: The census represents 2019 data, which was largely before the Covid-19 pandemic. Long-term care census levels dropped significantly during the pandemic, but this analysis uses 2019 data and assumes that occupancy levels will return to pre-pandemic levels by 2035.

b) Mitigating Characteristics of the Veteran Population of the Proposed Catchment Area

There are four factors, however, that are anticipated to partially offset the forecasted Veteran population decline:

1. Age and period of service
2. Disability
3. Gender and waiting list
4. VA-eligible residents in community nursing homes

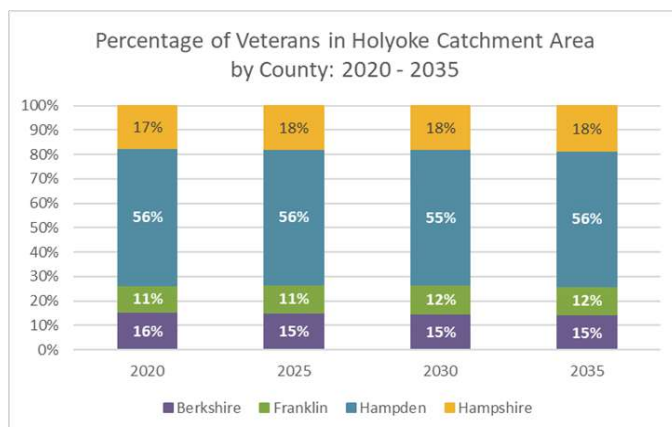
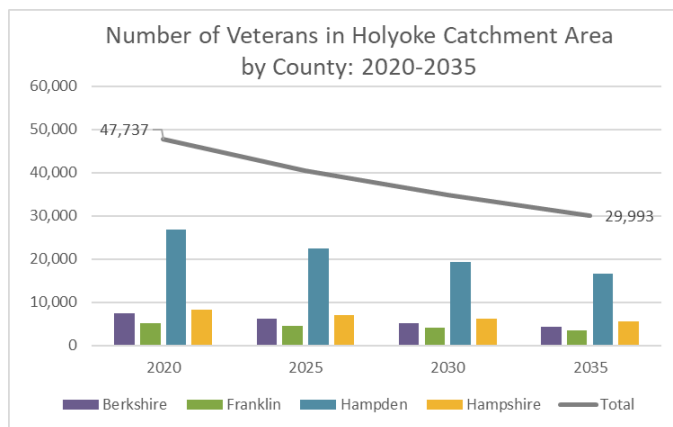
At the same time, there is a national trend away from institutional long-term care and toward more home and community-based supports. Driven by cost, patient preference and quality-of-care objectives, families are attempting to maintain elderly members in their own homes as long as possible, as evidenced by the increasing average age of long-term care residentsⁱⁱⁱ. To that end, we are also including an Adult Day Health program in the new building.

Age and Period of Service

The HLY long-term care facility caters to an older population, with an average resident age of 86. This results in an age-adjusted decline (based on 2019 census) of 24% in the Veteran population.

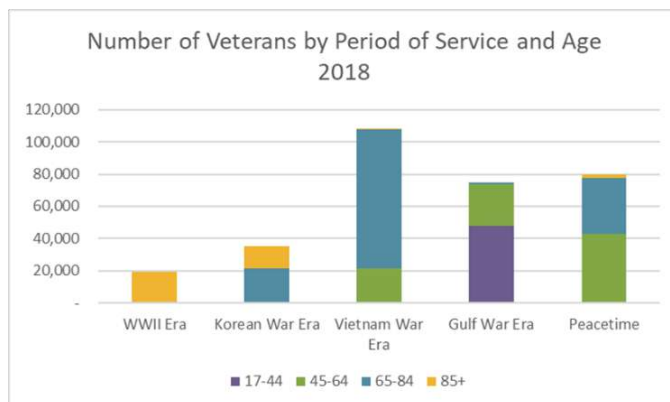
Nearly half of HLY catchment area Veterans are over 65 years of age (49%), with 9% of Veterans 85 years or older. While the catchment area Veteran population is expected to decline by 37% by 2035, the 85+ population will decline by only 12%. By 2035, the 85+ population will grow to 13% of the total Veteran population, with the over 65-year cohort remaining unchanged at 49%.

Although the total number of Veterans aged 65+ is anticipated to decline in coming years, this age group will be increasingly represented by the Vietnam era and Gulf War era Veterans. By 2035, no WWII era and few Korean War era Veterans will remain.



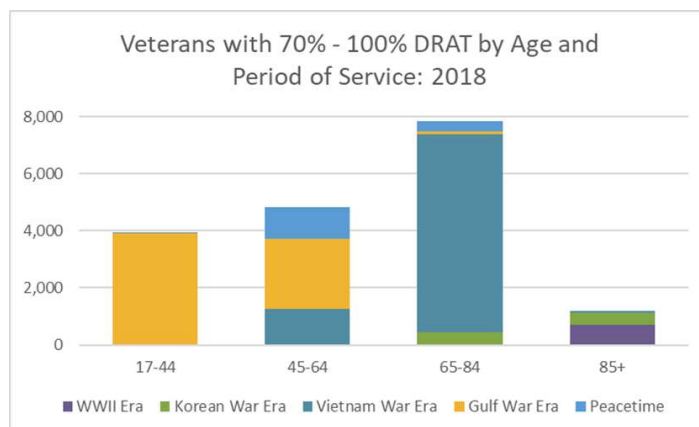
Massachusetts Veterans by war and peacetime era and age cohort in 2018 are shown at right.

- Vietnam era Veterans make up the largest portion of MA Veterans at 34%
 - 80% of Vietnam Veterans are 65-84
- Peacetime and Gulf War eras each constitute about 25% of MA Veterans
 - Over half of peacetime Veterans are estimated to be 45-64
 - Over half of Gulf War Veterans are 17-44
- Women represent 13% of Gulf War era Veterans – the highest of any period of service



Disability

Vietnam and Gulf War era Veterans are experiencing significantly greater levels of disability than previous eras, potentially offsetting future decreases in the Veteran population. Increases are attributed to chemical exposure in Vietnam and new patterns of injuries among Gulf War era Veterans, many of whom experienced multiple tours of duty. Furthermore, Veterans who were exposed to Agent Orange or who experienced traumatic brain injury (TBI) or post-traumatic stress disorder (PTSD) are at increased risk for dementia, according to a 2016 UMASS report to the LTC Commission.^{iv} The highest percentage of 65-84 year-old Veterans with a disability rating (DRAT) of 70 percent or greater in 2018 are from the Vietnam era. These Veterans will continue to need care for the next 20 years. Of disabled MA Veterans, 49% of Vietnam Veterans and 53% of Gulf War era Veterans have a disability rating of 50% or more compared to 30% for Korean War Veterans.



DRAT	WWII Era		Korean War Era		Vietnam War Era		Gulf War Era		Peacetime	
	#	%	#	%	#	%	#	%	#	%
10% or 20%	1,085	43%	2,320	49%	7,825	37%	4,570	28%	4,532	50%
30% or 40%	463	18%	1,007	21%	2,789	13%	2,999	19%	1,494	16%
50% or 60%	269	11%	502	11%	2,086	10%	2,155	13%	1,084	12%
70%, 80%, 90% or 100%	708	28%	876	19%	8,233	39%	6,460	40%	1,998	22%
Total	2,525		4,704		20,933		16,184		9,108	

Source: American Community Survey (ACS) Public Use Microdata Sample (PUMS) 5-Year Estimate 2014-2018

With increasing disability, there is often a high long-term care “use-rate per person” in a population. In other words, while there is a forecasted decline in the number of Veterans, the rate at which that lower population requires long-term care is anticipated to increase.

Projecting 20 to 30 years into the future, an estimated 30% of Veterans deployed to Iraq and Afghanistan will require long-term care.

It’s possible that 15-30 more Veterans would seek long term care by allowing for an increase in the “share” or proportion of Veterans who will be disabled and thus seek long term care.

Gender, Waiting List, VA-Eligible Residents in Community Nursing Homes

Females are growing as a percentage of Veterans, although they still represent a minority of Veterans in the older age groups. Six percent of Veterans aged 65+ in HLY’s catchment area is now female, with this cohort growing to 13% by 2035. More private rooms and the VA “Small Home Model” will help support the female population and potentially increase demand.

Despite the Covid-19 pandemic, the Holyoke Soldiers’ Home has a waiting list of approximately 100 Veterans as of March 2021 who might “backfill” any excess capacity from reduced demand related to demographic trends, assuming there is continued and expanded interest in the Soldiers’ Home. Previous waiting lists were in the 120-140 range. Further, census was in the 275-280 range as recently as 2016. In 2017 and beyond, the census was limited to 235 through attrition to decompress some beds. Thus the 2019 census might not be a true reflection of the demand.

Community nursing homes are currently caring for an estimated 150 eligible VA beneficiaries vi. A portion of those VA-eligible beneficiaries would presumably be interested in residing in a renovated/new Holyoke Soldier’s Home rather than a community nursing home.

Combined, accommodating just a portion of the current waiting list and accommodating just a portion of VA-eligible residents in a community nursing home could add 15-30 more residents to the Holyoke Soldiers Home.

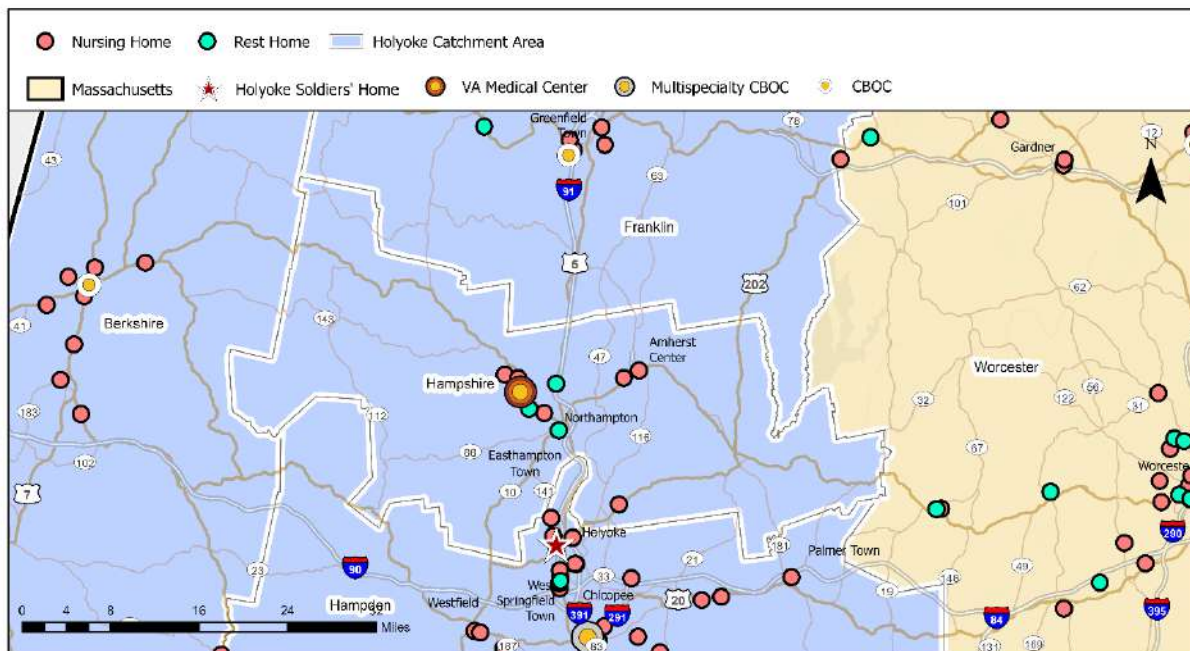
Holyoke Soldiers' Home has well established protocols and relationships with nearby Community Hospitals and Medical Centers, (Holyoke Medical Center and Baystate Medical Center), within the immediate area who provide emergency and urgent care to Residents of Holyoke Soldiers' Home. Holyoke has medical staff coverage which is available 24/7 with a full time Medical Director and Director of Nursing who manages the clinical care of Residents at the Home.

Trend Toward Less Institutional Care

The growth in non-institutional long-term care services such as assisted living, adult day health services, in-home caregivers/aides and respite services is decreasing demand for institutional LTC services. Additionally, the Covid-19 pandemic is expected to further exacerbate this trend toward home and community care for elders^{vii}. To that end, we have included an Adult Day Health program in the facility and made relatively conservative assumptions about the increased demand for long-term care from disability, the waiting list, and interest by VA-eligible residents in community nursing homes.

c) Availability of Community Nursing Homes

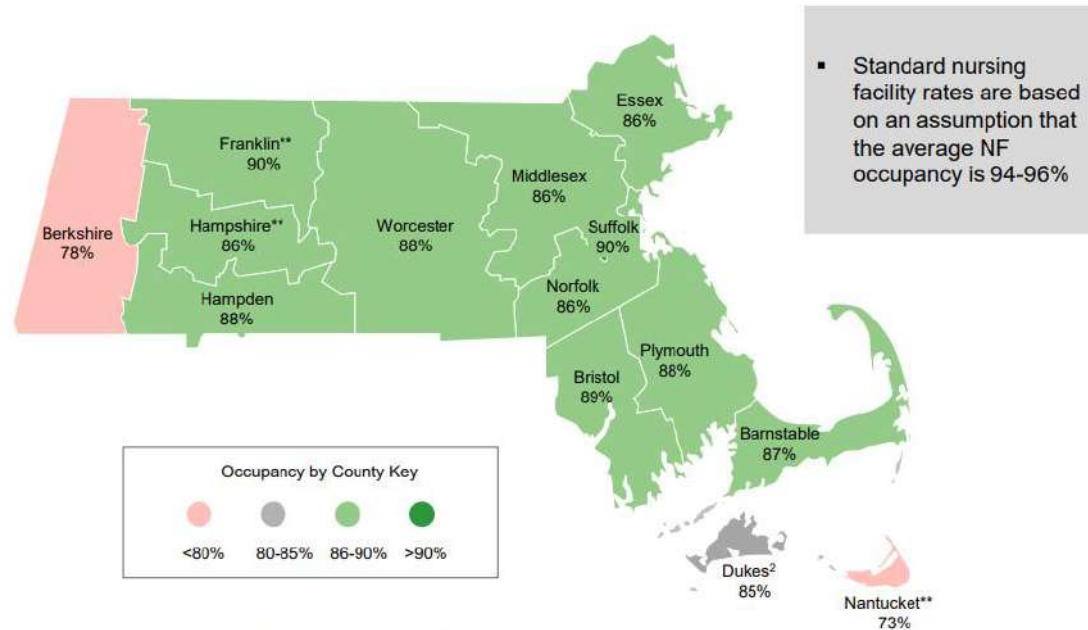
The map below shows the location of community nursing and rest home facilities in HLY catchment area.



Although the map shows the location of long-term care facilities, it does not indicate their bed capacity or the population density. There are 6,329 community-based beds in the 4-county Holyoke Soldiers' Home catchment area. The table below summarizes operating beds and population-to-bed ratios (65 years and older) per nursing home and rest home bed by county. The lower the ratio, the higher the availability of beds per resident 65+; the higher the ratio, the fewer beds per 65+ resident. Berkshire County has the lowest ratio, and therefore the greatest availability of beds, while Franklin is the least served county in HLY's catchment area with 34.1 residents over the age of 65 per residential care bed.

Total reported statewide nursing home occupancy was 87% as of April 2019 (pre-Covid-19) with county level occupancy shown below, according to a September 2019 report by the Nursing Facility Task Force. Hampden County, the location of the Holyoke Soldiers' Home, has an occupancy rate of 88%, which is similar to the state average. This study assumes that the average nursing facility occupancy is 94-96%^{viii} All counties in Massachusetts have an average nursing home occupancy rate below the efficient occupancy rate, as illustrated below.

Nursing home Occupancy Rate by County, April 2019¹



¹Self reported beds out of service (BOOS) were included in calculation of occupancy rates

²There are very few NFs Dukes, Nantucket, Franklin, and Hampshire. So their occupancy may fluctuate a lot from quarter to quarter.

Source: SNF Census April 2019

14

Assuming a target occupancy of 95%, there are approximately several hundred pre-Covid "available" beds in the market. Although there are theoretically several hundred available beds in the market, they might not all be desirable or accessible to the Soldiers' Home population. Additionally, literature supports the lifelong impact of military culture on the well-being of Veterans, with many profiting from a return to military-like culture as they age and potentially experience dementia. ix Therefore, although community nursing homes may be available, reduced reliance on them in the future will be beneficial to Veterans and support demand for beds at HLY despite the declining Veteran population.

IV. "Soldiers' Home in Holyoke Rapid Planning – Needs Assessment & Implementation Roadmap" - Study Recommendations

Long Term Care

The Soldiers' Home in Holyoke will be replaced with 234 beds, which approximately represents the 2019 pre-Covid census. The new facility will include all single-resident rooms, which will increase Veteran satisfaction and adhere to current infection control standards. It will also provide more indoor as well as outdoor activity spaces. Renovation with addition is a more costly and time-consuming option, and it presents many logistical challenges, including, but not limited to the need for the building to remain occupied during renovation.

Domiciliary

The VA is transitioning from the domiciliary (purely housing with no health care or rehabilitative services) model to the Mental Health Residential Rehabilitation and Treatment Programs (MH RRTPs) model. MH RRTPs are designed to provide state-of-the-art, high-quality residential rehabilitation and treatment services for Veterans with multiple and severe medical conditions, mental illness, addiction, or psychosocial deficits^{xi}. Holyoke Soldiers' Home does not wish to transition to a MH-R RTP model of care and will therefore discontinue their current domiciliary either by closure or attrition. Discontinuation of the domiciliary will allow for more space on the campus to support the long-term care mission.

Adult Day Health

Stakeholder Engagement Workshops indicate that patients, families, and the Holyoke Soldiers' Home leadership are interested in providing adult day services. The Northampton VA Medical Center, located approximately 25 miles to the north of HLY, has also indicated an interest in adult day services at the new facility. This VAMC currently uses community providers to provide adult day services, but they would be interested in contracting with Holyoke Soldiers' Home if they provide this service.

Outpatient

There are available outpatient services in market, including the Veterans Health Administration facilities that are anticipated to expand in scope. It is costly to provide outpatient care at HLY, and the Commonwealth could consider instead offering transportation services to existing outpatient providers—both in the community and in the VA system to eligible Veterans.

i <https://www.cfm.va.gov/til/dGuide/dgSHModel.pdf> VA U.S. Department of Veterans Affairs Small House (SH) Model design guide January 2017, revised March 2019

ii https://www.va.gov/vetdata/Veteran_population.asp Table 9L: VetPop2018 County-Level Veteran Population by STATE, AGE GROUP, GENDER, 2018-2048

iii Centers for disease Control and Prevention: The changing profile of Nursing Home Residents 1985-1997. file:///C:/Users/sgoodwin/Downloads/cdc_5770_DS2.pdf

iv UMASS Medical Presentation to LTC Commission_4_12_16.pdf

v UMASS Medical Presentation to LTC Commission_4_12_16.pdf

vi Interview with Northampton VAMC

vii Transcend survey of 1,000 family health care decision-makers: <https://homehealthcarenews.com/2020/06/long-term-care-decision-makers-more-likely-to-choose-home-care-in-covid-19-aftermath/>

viii [https://www.mass.gov/doc/september-20-2019-presentation/download#:~:text=The%20average%20occupancy%20rate%20is,Care%20Facts%3A%20Massachusetts%20Cont.&text=More%20individuals%20are%20served%20at,nursing%20homes%20\(%2D2%25\)%E2%80%A6&text=residences%20\(ALRs\)%20provide%20choice%20and%20greater%20independence%20than%20nursing%20homes.](https://www.mass.gov/doc/september-20-2019-presentation/download#:~:text=The%20average%20occupancy%20rate%20is,Care%20Facts%3A%20Massachusetts%20Cont.&text=More%20individuals%20are%20served%20at,nursing%20homes%20(%2D2%25)%E2%80%A6&text=residences%20(ALRs)%20provide%20choice%20and%20greater%20independence%20than%20nursing%20homes.)

ix UMASS Medical Presentation to LTC Commission_4_12_16.pdf

x <https://www.mass.gov/doc/soldiers-home-in-holyoke-rapid-planning-report/download>

xi VA Veterans Experiencing Homelessness website: <https://www.va.gov/homeless/dch.asp>

xii Interview, Northampton VAMC, September 1, 2020

A4

State Clearinghouse Comments (E.O.12372) single point of contact and compliance statement



The Commonwealth of Massachusetts
Executive Office of Health and Human Services
Soldiers' Home in Holyoke
110 Cherry Street
Holyoke, MA 01040-2829
TEL: (413) 532-9475 FAX: (413) 538-7968
www.mass.gov/hly/

CHARLES D. BAKER
Governor

KARYN E. POLITO
Lieutenant Governor

MARYLOU SUDDERS
Secretary, EOHHS

CHERYL LUSSIER POPPE
Secretary, DVS

MICHAEL LAZO
Interim Superintendent

March 22, 2021

Anna Gaug
Program Manager
U.S. Department of Veterans Affairs
State Home Construction Grant Program (10NA5)

Re: State Clearinghouse Comments
State Home Construction/Acquisition Grants Application
Section A, Item 4
Soldiers Home in Holyoke Long Term Care and Campus Framework Building Project

Dear Ms. Gaug,

This is to inform you that the Commonwealth of Massachusetts does not have a state clearinghouse or participate in intergovernmental review as outlined in E.O. 12372. Glen Hevy, Deputy Superintendent is hereby designated as the official and contact person to act and be responsible in all matters relating to the State Home Construction Grant Program.

All correspondence regarding the Soldiers Home in Holyoke Building Project may be directed to Glen Hevy who can be reached at 413-552-4706 or glen.hevy@mass.gov.

Sincerely,

A handwritten signature in cursive script that reads "Michael Lazo".

Michael Lazo, MBA
Interim Superintendent
Soldiers' Home in Holyoke

A5

Schematics for the proposed project

SOLDIERS' HOME IN HOLYOKE LONG-TERM CARE PROJECT

110 CHERRY STREET HOLYOKE, MA 01040

PROJECT NUMBER HLY-2102

VA SHCG APPLICATION FAI: TBD

THE COMMONWEALTH OF MASSACHUSETTS
EXECUTIVE OFFICE FOR ADMINISTRATION AND FINANCE
DIVISION OF CAPITAL ASSET MANAGEMENT AND MAINTENANCE
OFFICE OF PLANNING, DESIGN AND CONSTRUCTION

DEPARTMENT OF VETERANS' SERVICES
EXECUTIVE OFFICE OF HEALTH AND HUMAN SERVICES

04/09/2021
SCHEMATIC DESIGN

DRAWING INDEX		
No.	DESCRIPTION	ISSUED
GENERAL		
G0.01	LOCUS PLAN	04/09/2021
LANDSCAPE		
L1.00a	EXISTING SITE PLAN & PHASING DIAGRAM	04/09/2021
L1.00b	PROPOSED SITE PLAN	04/09/2021
L1.00c	SITE DIAGRAMS	04/09/2021
ARCHITECTURAL		
A2.00	OVERALL FLOOR PLAN - LEVEL 0	04/09/2021
A2.01	OVERALL FLOOR PLAN - LEVEL 1	04/09/2021
A2.02	OVERALL FLOOR PLAN - LEVEL 2	04/09/2021
A2.03	OVERALL FLOOR PLAN - LEVEL 3	04/09/2021
A2.04	OVERALL FLOOR PLAN - LEVEL 4	04/09/2021
A2.05	OVERALL FLOOR PLAN - LEVEL 5	04/09/2021
A2.06	OVERALL FLOOR PLAN - LEVEL 6	04/09/2021
A2.07	OVERALL FLOOR PLAN - LEVEL 7	04/09/2021
A2.08	OVERALL FLOOR PLAN - LEVEL 8	04/09/2021
A2.09	OVERALL FLOOR PLAN - PENTHOUSE	04/09/2021
A2.10	OVERALL ROOF PLAN	04/09/2021
A2.11	PV CANOPY - OVERALL PLAN	04/09/2021
A2.21	FLOOR PLAN, ROOF PLAN & ELEVATIONS - MAINTENANCE BUILDING	04/09/2021
A2.22	SITE STRUCTURES	04/09/2021
A3.00	REFERENCE AXONOMETRICS	04/09/2021
A3.01	BUILDING ELEVATIONS - SOUTH & EAST	04/09/2021
A3.02	BUILDING ELEVATIONS - NORTH & WEST	04/09/2021
A3.10	BUILDING SECTIONS	04/09/2021
A3.11	BUILDING SECTIONS	04/09/2021
A3.20	BUILDING END ELEVATIONS - NORTH, EAST, & WEST	04/09/2021



Architect

PAYETTE ASSOCIATES INC
290 Congress Street, Fifth Floor
Boston, MA 02210
Tel: 617-895-1000
www.payette.com

Landscape Architect

GROUND, INC.
285 Washington St. #G
Somerville, MA 02143
Tel: 857-350-3856
www.groundinc.com

MP/FP Engineer

BARD, RAO, ATHANAS
CONSULTING ENGINEERS, LLC
10 Guest St, 4th Floor
Boston, MA 02135
Tel: 617-254-0016
www.brplusa.com

Electrical/Low Voltage Engineer

ART ENGINEERING
38 Front Street, FL 3
Worcester, MA 01608
Tel: 508-797-0333
www.artengineering.us

Structural Engineer

LIM CONSULTANTS, INC.
6 Pleasant Street, Suite 520
Malden, MA 02148
Tel: 781-338-9300
www.limconsultants.com

Civil Engineer

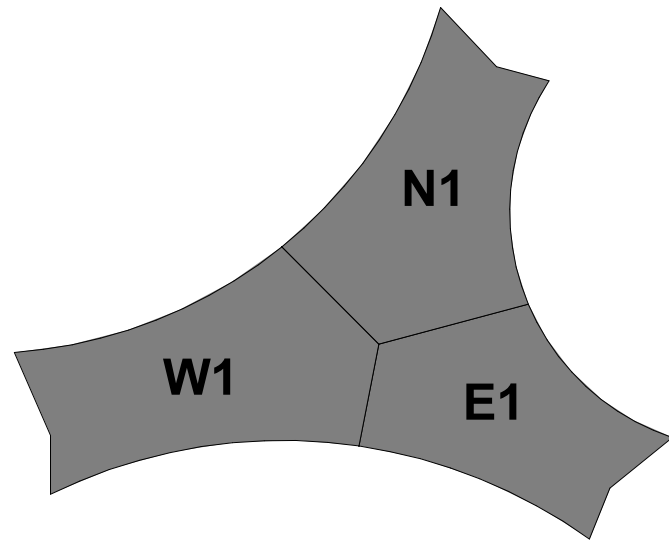
NITSCH ENGINEERING
2 Center Plaza, Suite 430
Boston, MA 02108
617-338-0063
www.nitscheng.com

Cost Estimating

VERMEULENS COST CONSULTANTS
470 Atlantic Avenue
Boston, MA 02210
Tel: 617-263-8879
www.vermeulens.com

Code Consultant

JENSEN HUGHES
33 Arch Street
Boston, MA 02111
Tel: 617-620-8900
www.jensenhughes.com



Project Name:
**SOLDIERS' HOME
IN HOLYOKE
LONG-TERM
CARE PROJECT**

DCAMM Project Number:
HLY-2102

VA SHCG APPLICATION FAI: TBD

Project Location

**110 Cherry Street
Holyoke, MA 01040**

Project Architect
Payette Associates Inc.
290 Congress Street, Fifth Floor
Boston, MA 02210-1005
Tel: 617-895-1000
www.payette.com

Project Number:
40158.00

PAYETTE

Project Consultant

Site Number: HLY 00
CAMIS Number: N/A
Building Number: 256 HLY 0010
Secretariat: E.O.H.H.S

Original Issue Date
04/09/2021

Revisions		
No.	Description	Date

**SCHEMATIC
DESIGN**

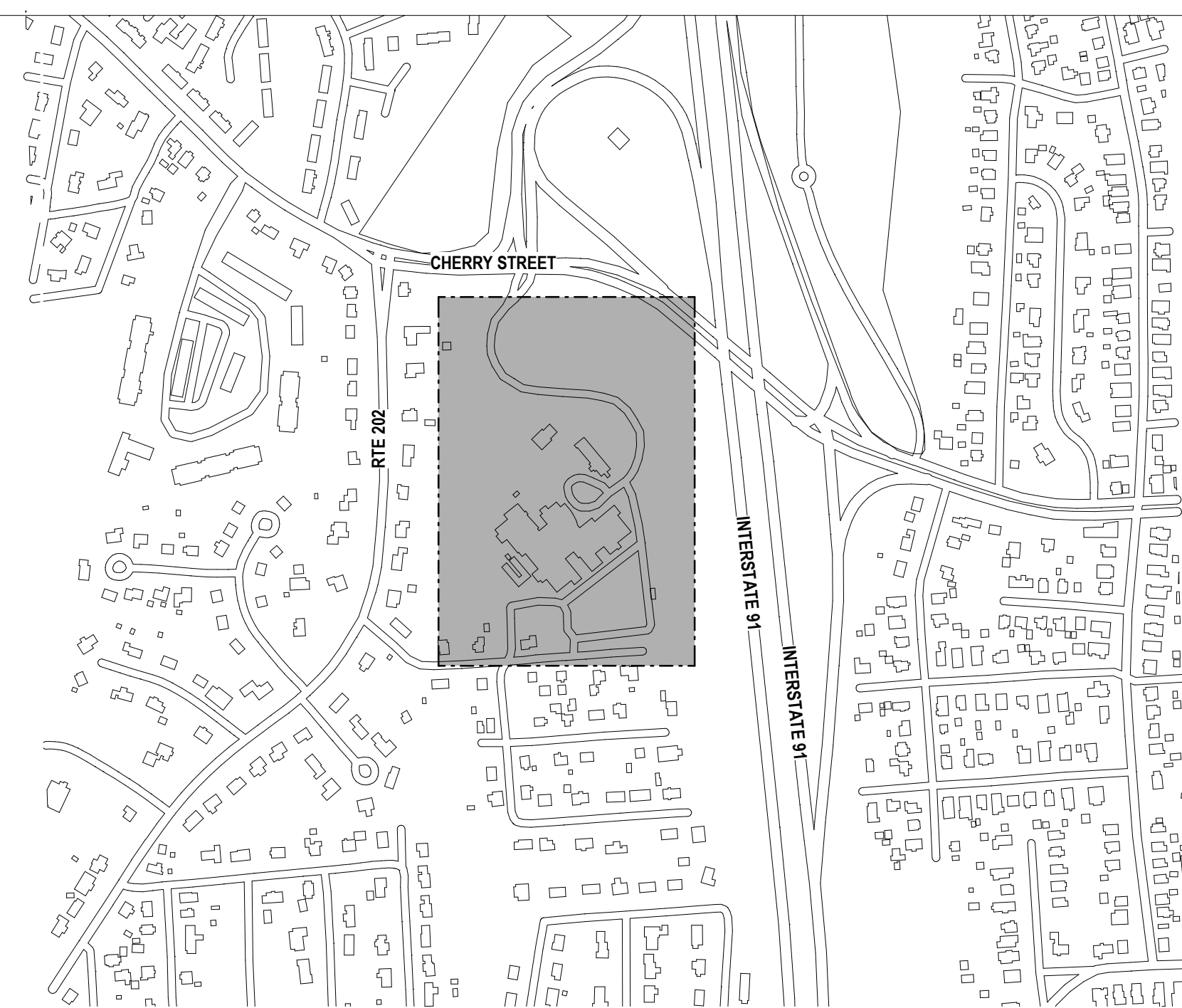
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LOCUS PLAN

Drawing Number:

G0.01

Drawing of



1

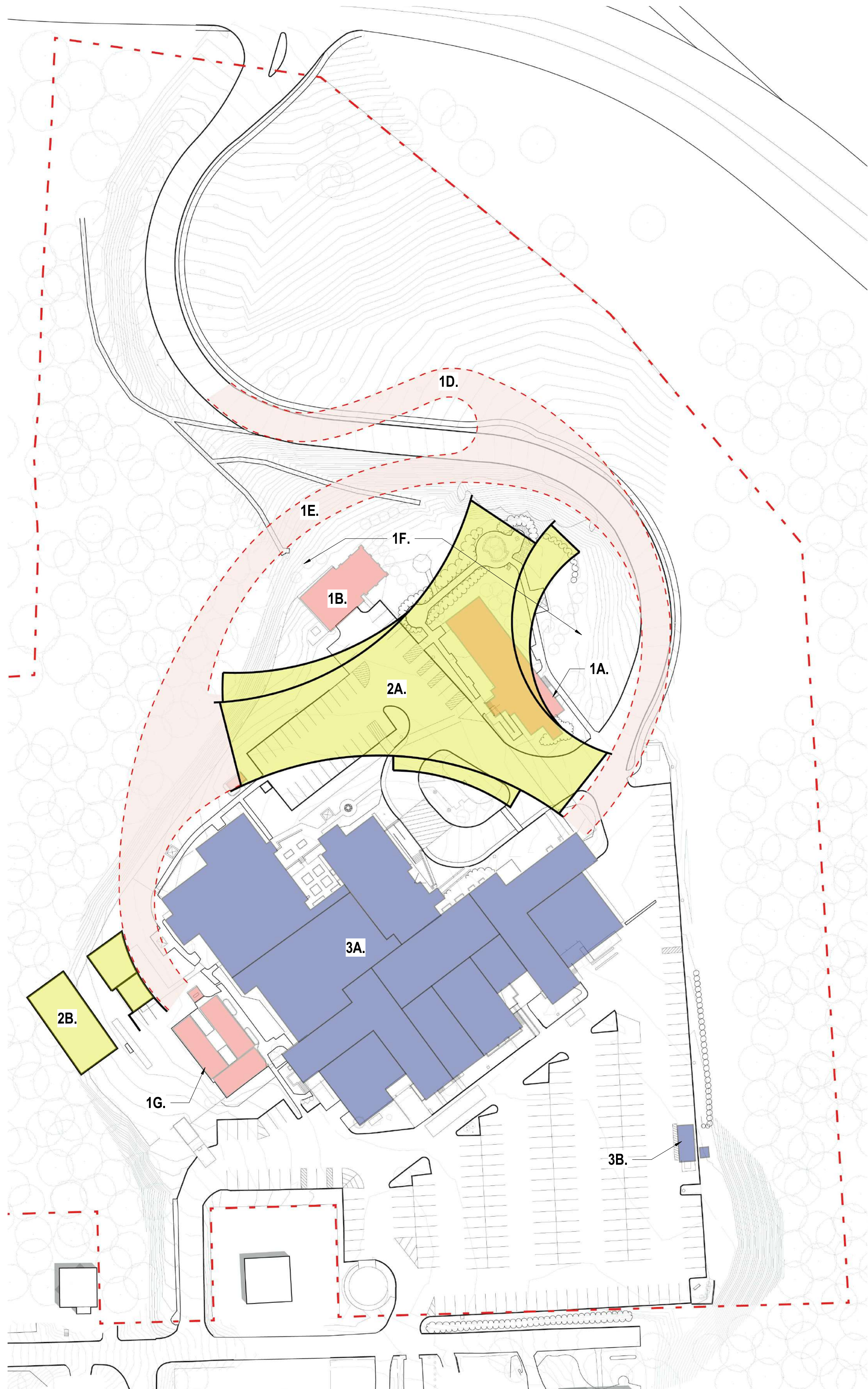
VICINITY LOCUS MAP - HOLYOKE

SCALE: 1" = 400'-0"

SITE LOCUS PLAN
SCALE: 1" = 40'-0"

SCALE: 1" = 40'-0"

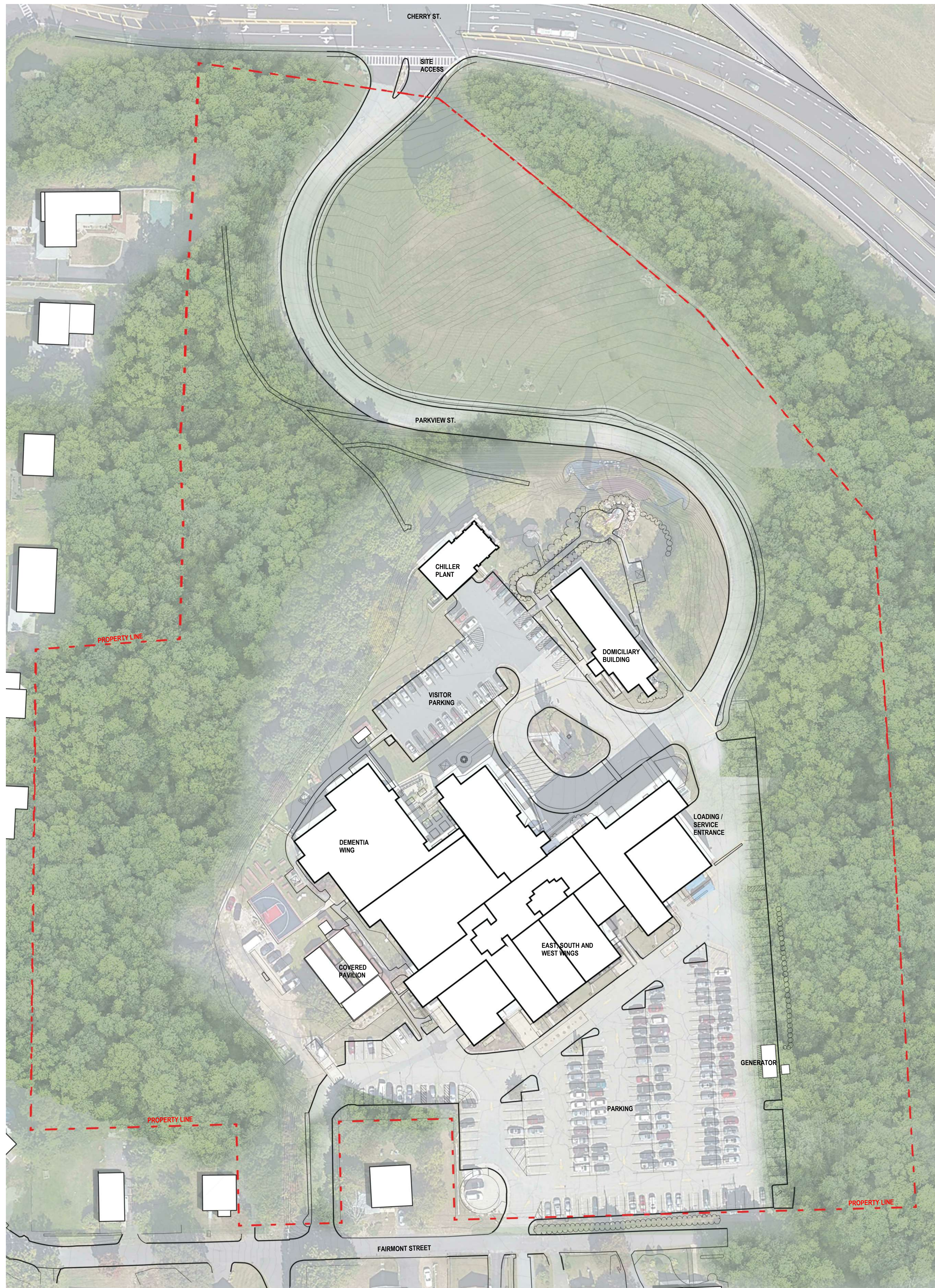
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2 SITE PLAN - PHASED
SCALE: 1" = 50'-0"

PHASING LEGEND:

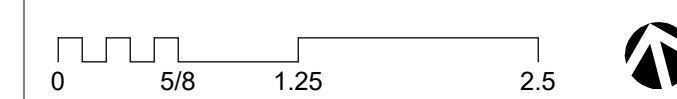
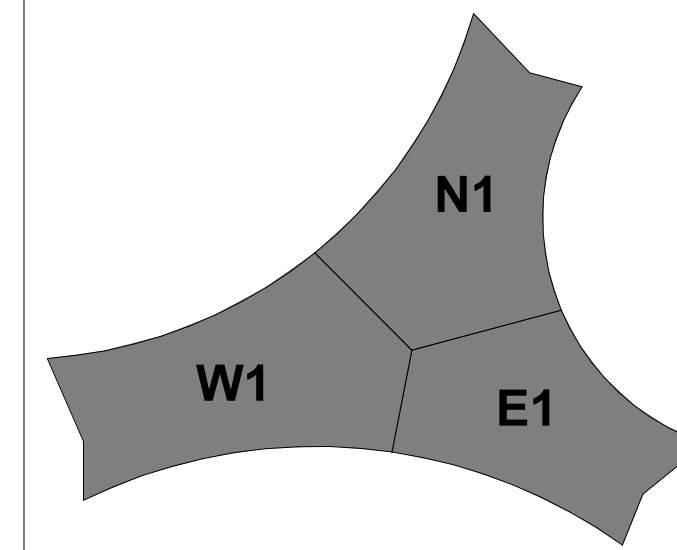
- 1) SITE ENABLING WORK:
 - 1A) DEMOLISH EXISTING DOMICILIARY BUILDING
 - 1B) CHILLER PLANT
 - 1C) RELOCATION OF UTILITIES
 - 1D) RELOCATION OF PARKVIEW STREET
 - 1E) CONSTRUCTION OF NEW FIRE ROAD FOR USE DURING CONSTRUCTION OF THE NEW SOLDIERS HOME
 - 1F) EXCAVATION AND BACKFILL IN PREPARATION FOR NEW FACILITY
 - 1G) RECONFIGURE COVERED OUTDOOR ACTIVITY PAVILION
- 2) ERECT NEW SOLDIERS HOME (2A) AND MAINTENANCE FACILITY (2B).
- 3) DEMOLISH EXISTING SOLDIERS HOME FACILITY (3A) AND GENERATOR (3B).



1 SITE PLAN - EXISTING
SCALE: 1" = 50'-0"



DIVISION OF CAPITAL ASSET
MANAGEMENT & MAINTENANCE
**OFFICE OF PLANNING
DESIGN & CONSTRUCTION**
McCormack Building
One Ashburton Place - Room 1500
Boston, MA 02108
617-727-4050
www.mass.gov/dcam



Project Name:
**SOLDIERS' HOME
IN HOLYOKE
LONG-TERM
CARE PROJECT**

DCAMM Project Number:
HLY-2102
VA SHCG APPLICATION FAI: TBD

Project Location
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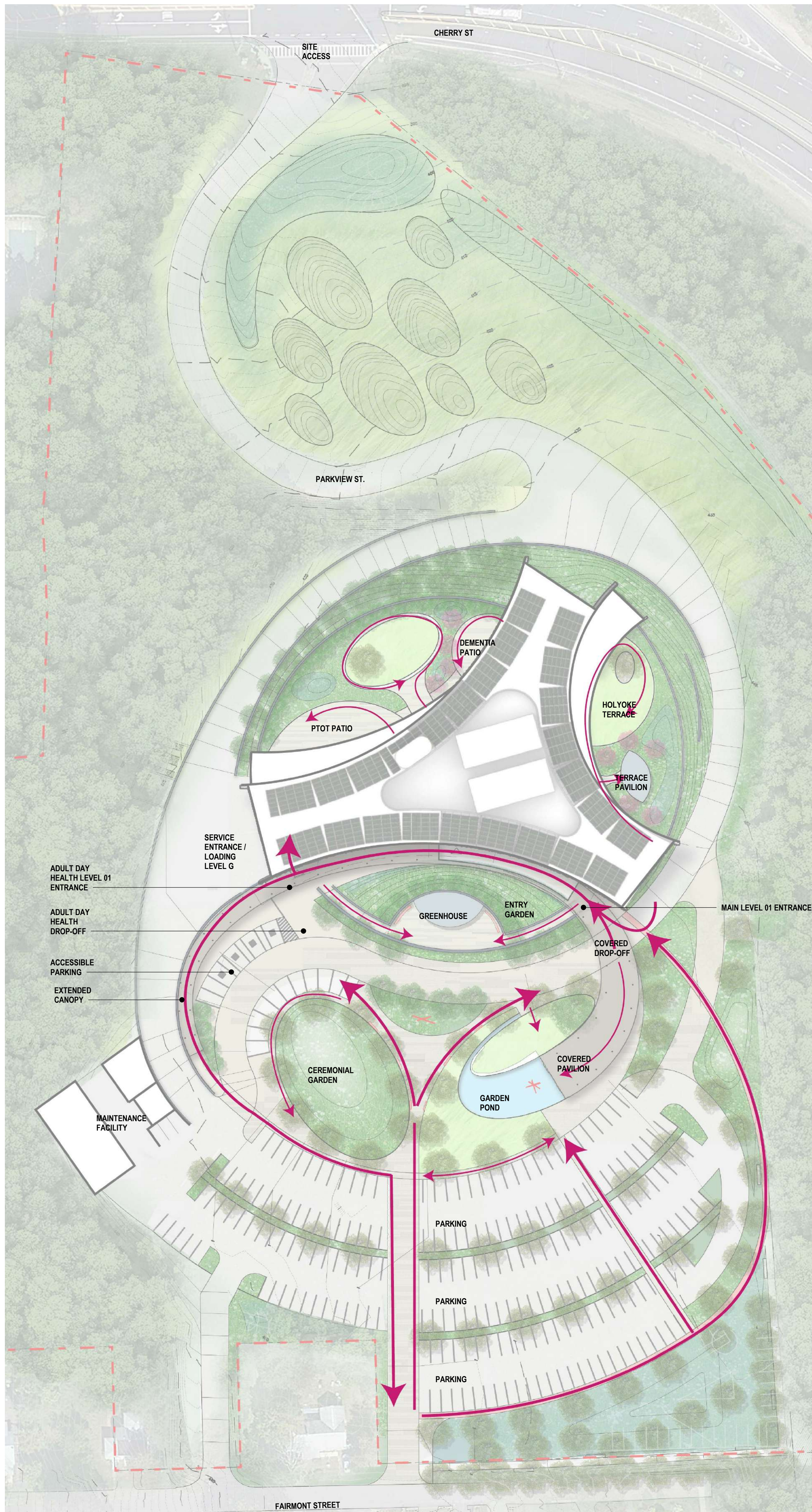
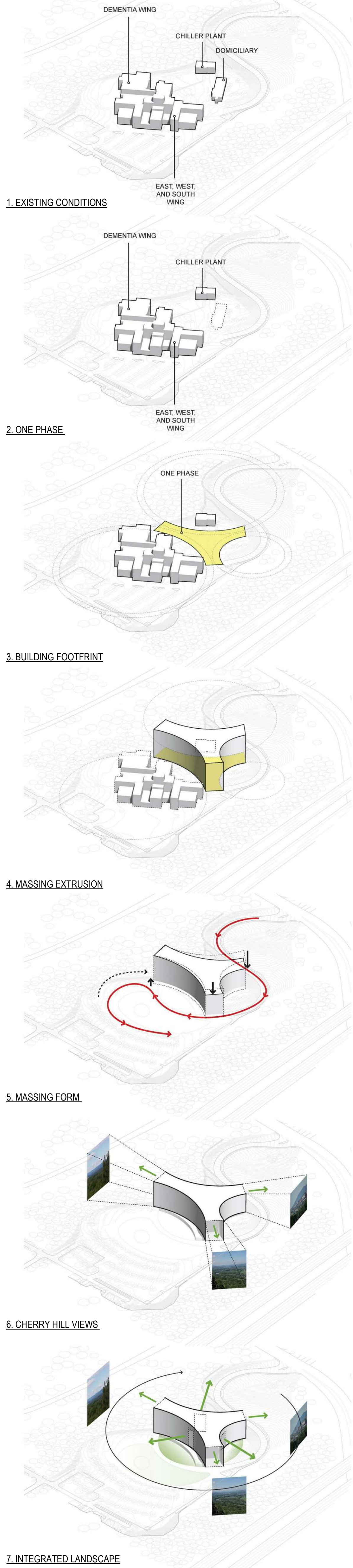
Revisions	No.	Description	Date
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**SCHEMATIC
DESIGN**

Drawing Title:
**EXISTING SITE PLAN &
PHASING DIAGRAM**

Drawing Number:
L1.00a
Drawing of

File Path: C:\Revit Projects\0156_HSH_CS_SD_R20_b_watson_PA1.rvt

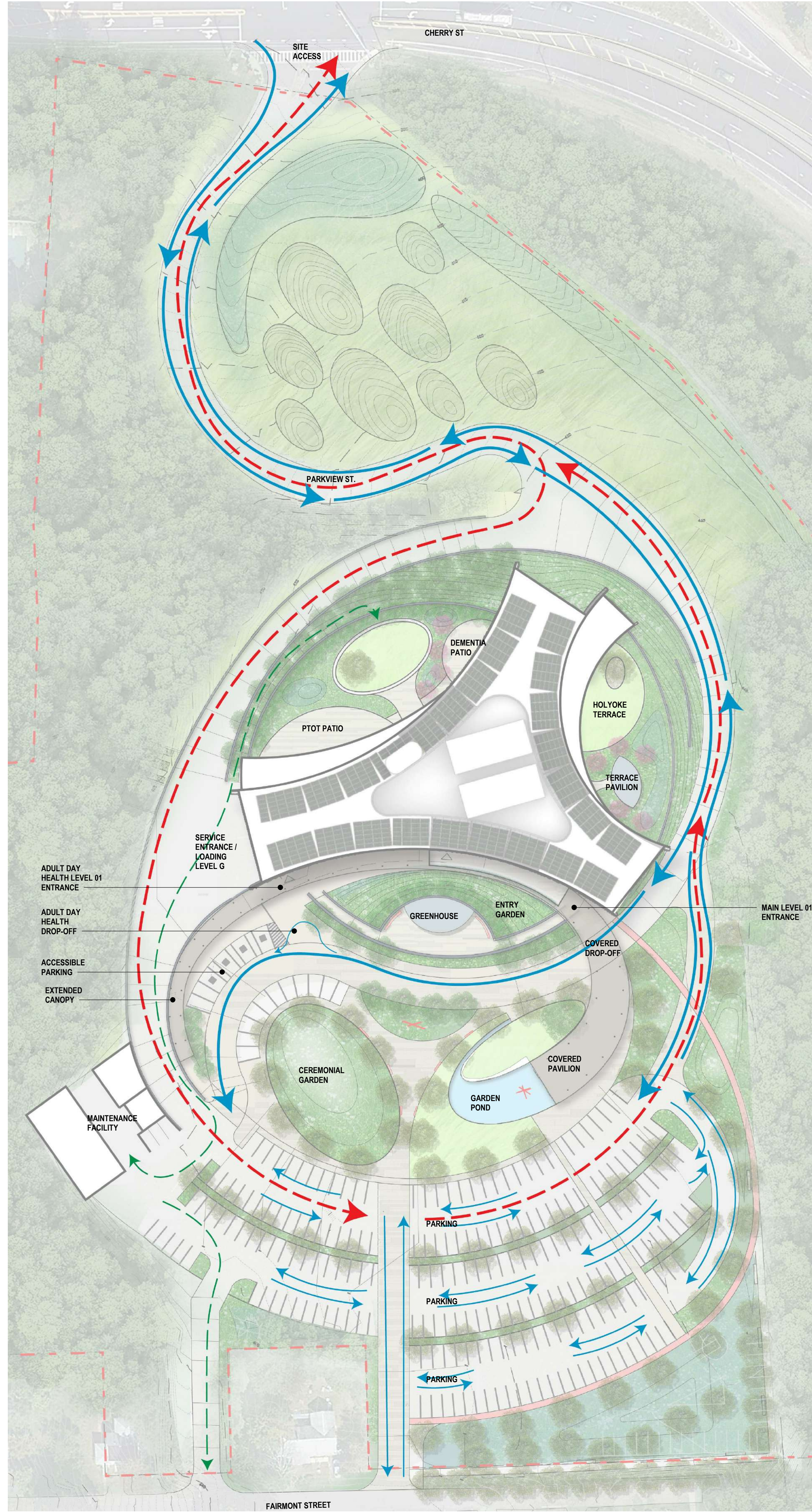


PEDESTRIAN FLOW LEGEND:

PRIMARY CIRCULATION

SECONDARY CIRCULATION

2 SITE PLAN DIAGRAM - PEDESTRIAN FLOWS
SCALE: 1" = 50'-0"



VEHICULAR FLOW LEGEND:

SERVICE CIRCULATION

PUBLIC CIRCULATION

MAINTENANCE CIRCULATION

1 SITE PLAN DIAGRAM - VEHICULAR FLOWS
SCALE: 1" = 50'-0"

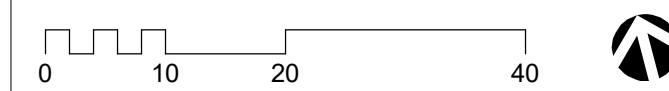
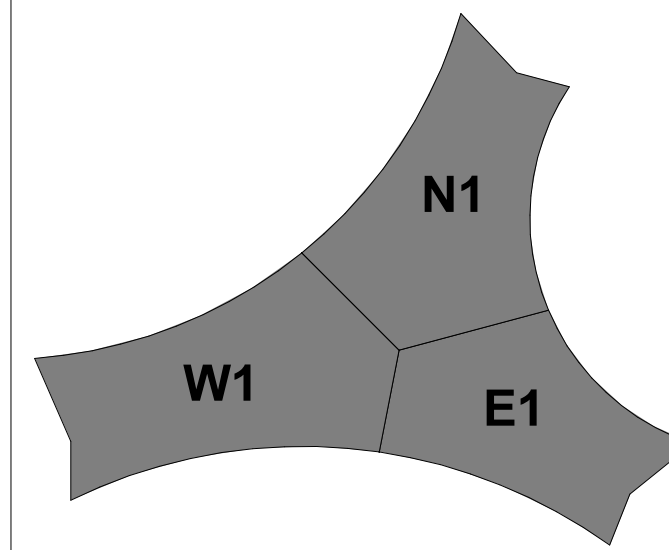


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McCormack Building
One Ashburton Place - Room 1500
Boston, MA 02108

617-727-4050
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Project Name:
**SOLDIERS' HOME
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DCAMM Project Number:
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VA SHCG APPLICATION FAI: TBD

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Building Number: 256 HLY 0010
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Original Issue Date
04/09/2021

Revisions	No.	Description	Date
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**SCHEMATIC
DESIGN**

Drawing Title:
SITE DIAGRAMS

Drawing Number:
L1.00c
Drawing of



EAST AXONOMETRIC VIEW



NORTH AXONOMETRIC VIEW



SOUTH AXONOMETRIC VIEW



WEST AXONOMETRIC VIEW



DCAMM

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Secretariat: E.O.H.H.S

Original Issue Date
04/09/2021

Revisions	No.	Description	Date
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**SCHEMATIC
DESIGN**

Drawing Title:
**REFERENCE
AXONOMETRICS**

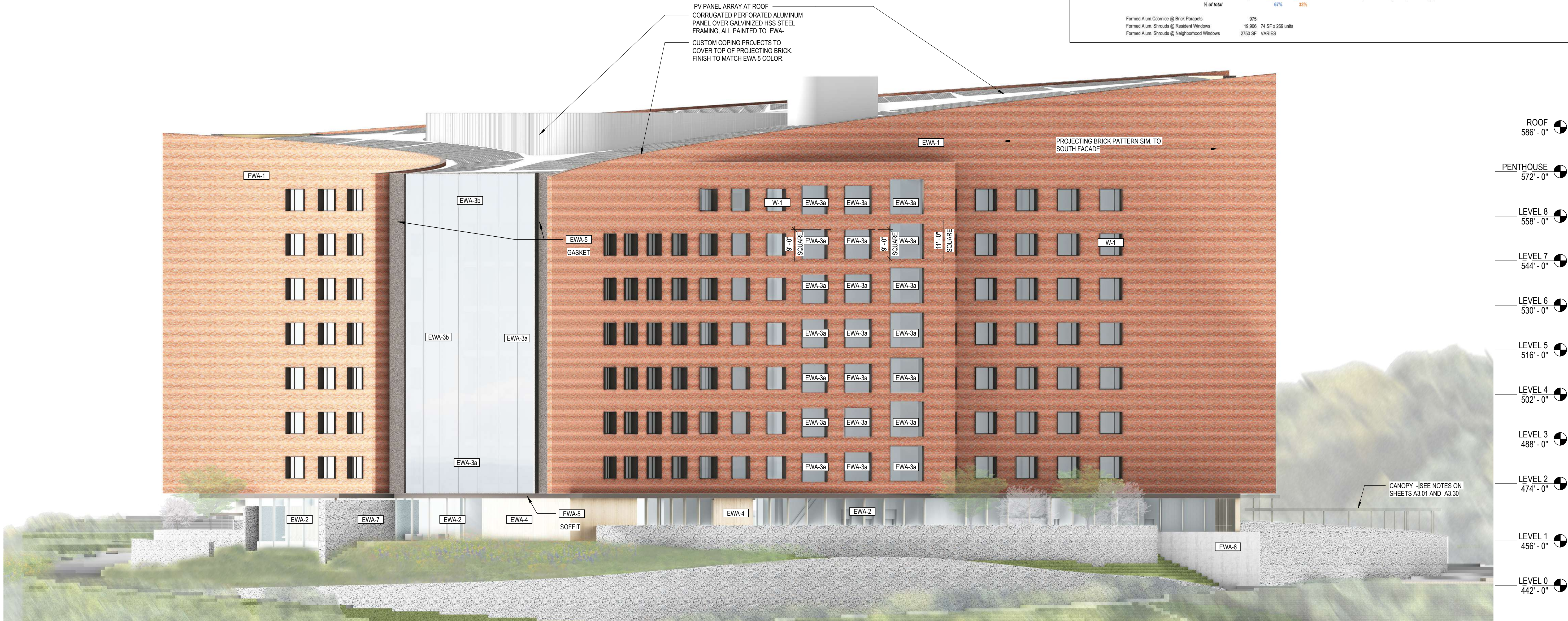
Drawing Number:
A3.00

Drawing of

2 WEST ELEVATION
SCALE: 1/16" = 1'-0"

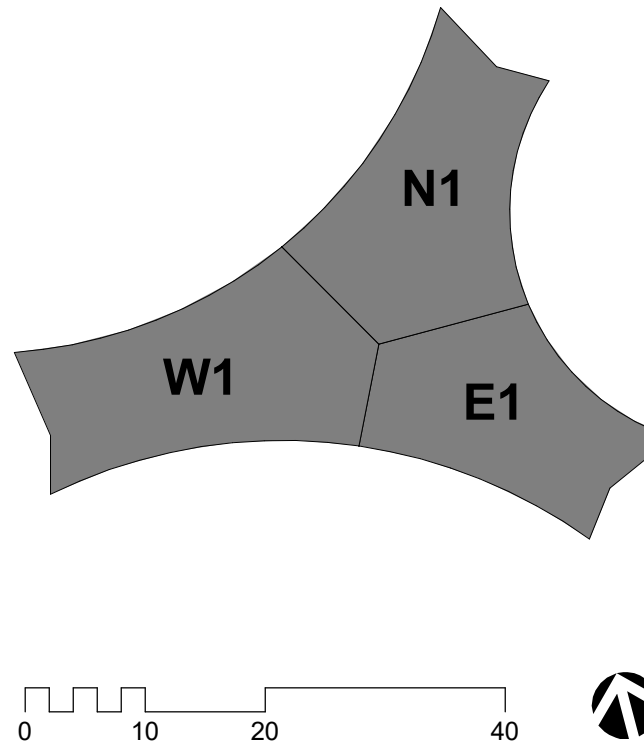


1 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



ELEVATION LEGEND

Soldiers' Home at Holyoke									
WINDOW-TO-WALL CALCULATIONS					THERMAL RESISTANCE				
SYSTEM	DESCRIPTION	TAKEDOFF (SF)	WALL	WINDOW	U-Factor Effective	R-Value Effective	REMARKS		
EWA-1	Brick (wall) - shells	64,579	64,579		0.043	23.2	R-26.2 nominal (Brick, 1 1/2" air space, 6" mineral fiber, AVS, Sheath, CFMF, gypsum)		
EWA-2	Timber Framed Curtain Wall	10,079		10,079	0.180	5.6	Triple-glazed, assembly effective U value = 1/4 SHGC, 30glass panels @ 12h x 7h typically (84d)		
EWA-3	Alum. Framed Curtain Wall	17,029		17,029	0.200	5.0	Triple-glazed, assembly effective U value = 1/5 SHGC, 30glass panels @ 12h x 7h typically (84d)		
EWA-3	Alum. Framed Curtain Wall - Insulated Spandrel	4,402	4,402		0.050	20.2	Double-glazed, COG u-factor 24, spandrel @ R-20.2 nom.		
EWA-4	Wood Rainscreen Board and Batten - Cedar	3,401	3,401		0.043	23.2	R-26.2 nominal Cedar board-slat-batten cladding, 1 1/2" air space, 6" mineral fiber, AVS, Sheath, CFMF, gypsum		
EWA-5	Alum. Plate Rainscreen - Dark Bronze Anodized	6,317	6,317		0.043	23.2	R-26.2 nominal (1/8" Alum. Plate, 1 1/2" air space, 6" mineral fiber, AVS, Sheath, CFMF, gypsum)		
EWA-6	Architectural Concrete	1,314	1,314		0.050	20.2	R-20 nominal (2" SPF backed CIP concrete, air space + gypsum)		
EWA-7	Dry Laid Stone Veneer Masonry Wall	1,060	1,060		0.043	23.2	R-20 nominal Dry laid stone field stone veneer, 1 1/2" air space, 6" mineral fiber, AVS, Sheath, CFMF, gypsum		
W-1	Aluminum-clad Wood Window	13,181		13,181	0.150	6.7	R-7 effective European Wood Window, Upr 15, Udogr 13, SHGC .3		
Building TOTAL		122,860	82,071	40,789	0.058	17.2	(Whole Building - Weighted Average)		
% of total			67%	33%					
Formed Alum. Cornice @ Brick Parapets		975							
Formed Alum. Shrouds @ Resident Windows		16,909		14 SF x 269 units					
Formed Alum. Shrouds @ Neighborhood Windows		2750 SF		VARIABLES					



Project Name:
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IN HOLYOKE
LONG-TERM
CARE PROJECT**

DCAMM Project Number:
HLY-2102
VA SHCG APPLICATION FAI: TBD

Project Location
**110 Cherry Street
Holyoke, MA 01040**

Project Architect
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www.payette.com
Project Number:
40158.00

PAYETTE

Project Consultant

Site Number: HLY 00
CAMIS Number: N/A
Building Number: 256 HLY 0010
Secretariat: E.O.H.H.S

Original Issue Date
04/09/2021

Revisions
No. Description Date

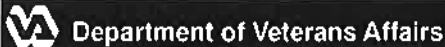
**SCHEMATIC
DESIGN**

Drawing Title:
**BUILDING ELEVATIONS -
NORTH & WEST**

Drawing Number:
A3.02
Drawing of

A6

Signed initial application certification (VA Form 10-0388-1)



DOCUMENTS AND INFORMATION REQUIRED FOR STATE HOME CONSTRUCTION AND ACQUISITION GRANTS INITIAL APPLICATION

An initial application should be submitted to the State Home Construction Grant Program (SHCGP) by April 15, if the state wishes consideration of an initial application for placement on the priority list for the next fiscal year.

PROJECT DESCRIPTION

234 Bed Reconstruction

PROJECT LOCATION

Holyoke, Massachusetts

FAI NUMBER

SECTION I - STANDARD FORMS

1. SF 424, APPLICATION
2. SF 424C, BUDGET INFORMATION-CONSTRUCTION PROGRAMS.
 - a. Equipment cost estimate is not to exceed 10 percent of the construction costs; and
 - b. Contingency cost estimate is not to exceed 5 percent of the estimated cost of project for new construction or 8 percent for remodeling projects).
3. SF 424D, ASSURANCES-CONSTRUCTION PROGRAMS.

SECTION II - DOCUMENTATION REQUIREMENTS

1. Description and scope of the project, including project site description and location.
2. Governor's letter or a letter from the agency authorized by the governor with program oversight designating the state representative and information that will permit VA to contact the state representative. The state representative must notify the SHCGP, immediately of any changes in who the state representative is and how to reach him or her.
3. Needs Assessment (Must include the following criteria):

ADDING OR REPLACING NURSING HOME OR DOMICILIARY BEDS:

- a. Demographic characteristics of the veteran population of the proposed catchments area.
- b. If great travel distances (over two hours) are imposed on veterans and their families, availability of beds.
- c. Number of VA nursing home and domiciliary beds and the occupancy rate at those facilities for the previous fiscal year.
- d. Number of state nursing home and domiciliary beds and the occupancy rate of those facilities for the previous fiscal year.
- e. Number of community-based nursing home beds and the occupancy rate at those facilities for the previous fiscal year (must have full state certification). The state certification must authorize appropriate level(s) of care to allow veteran placement in those facilities.
- f. Waiting lists for existing state home programs.
- g. Plans for acute medical care/emergency care services as may be required by the state home residents.
- h. Availability of qualified medical care personnel to staff the proposed facility.

NOT ADDING OR REPLACING NURSING HOME OR DOMICILIARY BEDS:

- a. Reason for the project.
- b. The scope of the project.
4. Any comments or recommendations made by the appropriate state clearing house pursuant to policies outlined in Executive Order 12372, intergovernmental review of federal programs (part 40 of this chapter). If the state has no clearinghouse, the designated authorized state representative must certify compliance with this executive order.

SECTION II CONTINUED- DOCUMENTATION REQUIREMENTS

5. State application identifier number (if applicable).
6. Schematic drawings for the proposed project.
7. Information on VA Form 10-0388-3 and 10-0388-4 should correspond with charts in 140 and 160. Also see the VA community Living Center Design Guide.

SECTION III - ADDITIONAL DOCUMENTATION FOR BED PROJECTS

8. Documentation that the site of the project is in reasonable proximity to a sufficient concentration and population of veterans that are 65 years of age and older and that there is a reasonable basis to conclude that the facility when complete will be fully occupied.
9. Five-year capital plan for state's entire state home program, including the proposed project.
10. Financial plan for state facility's first three years of operation following construction.
11. Authorized state representative's certified statement that the list of the total number of state-operated nursing home and domiciliary beds for veterans is the total number of such beds existing, under construction, or pending approval by VA at the time of the initial application.
12. If a state proposes new beds that exceed the maximum number of state home beds as defined in 38 CFR 59.40, the state must provide documentation to justify an exception on the basis of great travel distances (greater than two hours) between a significant population center and an existing state home. The secretary will consider and approve/disapprove such justification in the determination of the priority of the initial application.

CERTIFICATION - THE LAW PROVIDES SEVERE PENALTIES FOR WILLFUL SUBMISSION OF FALSE INFORMATION.

 I certify that the above information submitted to VA is true and correct to the best of my knowledge and ability.

NAME OF AUTHORIZED STATE OFFICIAL

Michael Lazo

TITLE OF AUTHORIZED STATE OFFICIAL

Interim Superintendent

SIGNATURE



DATE (mm/dd/yyyy)

04/07/2021

The Paperwork Reduction Act of 1995 requires us to notify you that this information collection is in accordance with the clearance requirements of section 3507 of this Act. The public reporting burden for this collection of information is estimated to average 6 hours per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. We may not collect or sponsor and you are not required to respond to, a collection unless it has a valid OMB Control Number. This collection of information is collected under the authority of 38 U.S. Code Sections 8133(a) and 8135(a). VA will use this information, along with other documents submitted by the States to determine the feasibility of the projects for VA participation, to meet VA requirements for a grant award and to rank the projects in establishing the annual fiscal year priority list. Although response is voluntary, VA will be unable to authorize a grant without a complete package. Your failure to furnish this information will have no effect on any of other benefits to which you are entitled.

A7

Safety citation/letter (submit only for projects that threaten the life and safety of residents)

A8

Space program analysis for nursing home domiciliary (VA Form 10-0388-3) or ADHC (VA Form 10-0388-4)

ADULT DAY HEALTH SPACE PROGRAM CALCULATION

GENERAL ADULT DAY HEALTH INFORMATION

Anticipated number of Participants (change this number to populate

AREAS TO BE ENTERED ON VA FORM 10-0388-4

CFR 59.160 ALLOWED ADULT DAY HEALTH PROGRAM	ACTUAL PROGRAM		COMMENTS / JUSTIFICATION
Space	Soldiers Home in Holyoke Proposed Area (sf)	% variation from allowed (if greater than 10%, explanation is required)	
I. Support facilities (allowable square feet (or metric equivalent) per facility for VA participation):			
Program Director	140	-30%	
Assistant administrator	118	-21%	
Medical officer, director of nursing or equivalent	107	-29%	
Nurse and dictation area		-100%	
General administration (each office/person)	556	54%	
Clerical staff (each)	274	71%	
Computer area		-100%	
Conference room (consultation area, in-service training)		-100%	
Lobby/receiving/waiting area (150 minimum)	228	52%	
Public/resident toilets (male/female)		-100%	
Dining area (may be included in the multipurpose room)	723	-28%	
Vending machines		-100%	
Participant toilets (male/female)	295	136%	
Medical support (staff offices/family counseling, etc.)		-100%	
Janitor's closet		-100%	
Dividable multipurpose room	785	5%	
Employee lockers	23	-90%	
Employee lounge	391	226%	
Employee toilets	122	144%	
Physical therapy		-100%	
Office, if required		-100%	
Occupational therapy		-100%	
Office, if required		-100%	
Building maintenance storage		-100%	
Resident storage	237	-21%	
General warehouse storage	66	-78%	
Medical/dietary		-100%	
General Laundry ¹	95	0%	
II. Other Areas:			
Participant quiet room	211	41%	
Clean utility	105	-13%	
Soiled utility	100	-5%	
General storage		-100%	
Nurses station, ward secretary		-100%	
Medication/exam/treatment rooms	390	73%	
Waiting area		-100%	
Program supply and equipment		-100%	
Staff toilet		-100%	
Wheelchair storage		-100%	
Kitchen	305	154%	
Janitor's closet		-100%	
Resident laundry		-100%	
Trash collection		-100%	
III. Bathing and Toilet Facilities:			
(A) Private or shared facilities:			
Wheelchair facilities		-100%	
Standard facilities		0%	
(B) Full bathroom	169	125%	
TOTAL SPACE ALLOWED / PROVIDED	5,440		

¹ The size to be determined by the Chief Consultant, Geriatrics and Extended Care, as necessary to accommodate projected patient care needs (must be justified by State in space program analysis).

NURSING HOME SPACE PROGRAM CALCULATION

GENERAL NURSING HOME INFORMATION

Anticipated number of Beds (change this number to populate spreadsheet below):

234

AREAS TO BE ENTERED ON VA FORM 10-0388-3

CFR 59.160 ALLOWED ADULT DAY HEALTH PROGRAM			ALLOWED PROGRAM		ACTUAL PROGRAM		COMMENTS / JUSTIFICATION
Space	Allowed Area (sf)	Allowed Unit	Soldiers Home in Holyoke Proposed Units	Soldiers Home in Holyoke Allowed Area (sf)	Soldiers Home in Holyoke Proposed Area (sf)	% variation from allowed (if greater than 10%, explanation is required)	If the Small House Guide supports a different area calculation for any space, note it here
I. Support facilities [allowable square feet (or metric equivalent) per facility for VA participation]:							
Administrator	200		1	200	184	-8%	
Assistant administrator	150		1	150	193	29%	Office sized based on anticipated function which necessitates including a small meeting table within the Assist. Administrator's Office
Medical officer, director of nursing or equivalent	150		1	150	144	-4%	
Nurse and dictation area	120		1	120	0	-100%	
General administration (each office/person)	120		40	4800	5096	6%	
Clerical staff (each)	80		4	320	330	3%	Moved Nurse and Dictation SF to Clerical Staff
Computer area	40		16	640	525	-18%	
Conference room (consultation area, in-service training)	500	each room	5	2500	1910	-24%	
Lobby/waiting area. (150 minimum/600 maximum per facility)	3	per bed	234	600	3799	533%	VA Small House Model requires: Neighborhood: Lobby (200 sf, 1 per every 3 houses) Waiting Room (220 per every 3 houses) and Community Center allows for an additional 400 sf Lobby, 220 sf General Waiting, 125 sf of Family Waiting.
Public/resident toilets (male/female)	25	per fixture	19	475	2239	371%	21 out of the 23 bathrooms are private, unisex American Disability Act/Massachusetts Architectural Access Board compliant bathrooms. There are two multi-stalled, gendered bathrooms with the Community Center on Level 1.
Pharmacy ¹			1	0	1154	0%	
Dietetic Service ¹			1	0	5310	0%	
Dining area	20	per bed	234	4680	4779	2%	
Canteen/retail sales	2	per bed	234	468	1406	200%	Canteen is sized to accommodate staff in addition to residents.
Vending machines (450 max. per facility)	1	per bed	234	234	234	0%	
Resident toilets (male/female)	25	per fixture	20	500	480	-4%	
Child Day Care ¹			0	0	0	0%	
Medical support (staff offices/exam/treatment room/family counseling, etc.)	140	per room	16	2240	3132	40%	Medical Support rooms are sized to comply with Massachusetts Department of Health minimum room dimensions.
Barber and/or beauty shops	140		3	420	443	5%	
Mail room	120		1	120	265	121%	Due to number of residents and numbers of staff,
Janitor's closet	40		2	80	172	115%	The Level 1 Janitor's Closet will also serve
Multipurpose room	15	per bed	234	3510	3373	-4%	Great Room
Employee lockers	6	per employee	250	1500	247	-84%	
Employee lounge (500 max. per facility)	120		8	960	2017	110%	VA Small House - Allows 150 per House, 6 Floors x 150 = 900. Also includes Level 1 and Level 2 Staff Lounges.
Employee toilets	25	per fixture	234	5850	907	-84%	
Chapel	450		1	450	2115	370%	The current chapel at the the Soldiers' Home in Holyoke sees between 40-45 people per Sunday. Family of residents and members of the community often worship at the Soldiers' Home
Physical therapy	5	per bed	234	1170	2253	93%	Physical Therapy also sized requested number and type of equipment.
Office, if required	120		1	120	132	10%	
Occupational therapy	5	per bed	234	1170	922	-21%	
Office, if required	120		1	120	98	-18%	
Library	1.5	per bed	234	351	1137	224%	The library is sized to accommodate both residents and family visitors
Building maintenance storage	2.5		234	585	4789	719%	The Soldiers' Home in Holyoke currently employs tradespeople that perform much of the building repairs and maintenance on site
Resident storage	6	per bed	234	1404	0	-100%	
General warehouse storage	6	per bed	234	1404	6174	340%	The Soldiers' Home is required to maintain
Medical/dietary/pharmacy	7	per bed	234	1638	2840	73%	This includes clinical support functions such as a Mortuary, Food Prep area in resident floor kitchen/dining areas.
General Laundry ¹					0	0%	
II. Bed units:							
One	150	per room	212	31800	53512	68%	Small Home - 250 SF per single room (x 234 = 58,500 SF)
Two	245	per room		0	0	0%	
Large two-bed per unit	305	per room	11	3355	4596	37%	Two-bed resident rooms are sized to allow for clearances for MA DPH patients of size (5 ft at bedside) and for motorized wheelchair maneuverability
Four	460	per room	0	0	0	0%	
Lounge areas (resident lounge with storage)	8	per bed	234	1872	40042	2039%	VA Small Home, General Activity/Multipurpose Room: 1100, 1 per every 3 houses = 1100 x 7.66 = 8,426 / DPH 8 df per bed = 1872
Resident quiet room	3	per bed	234	702	3159	350%	The two quiet rooms per 36 bed resident floors will also serve as staff huddle spaces when not being used by residents.
Clean utility	120		20	2400	2056	-14%	
Soiled utility	105		20	2100	1605	-24%	
Linen storage	150		20	3000	1588	-47%	
General storage	100		0	0	2122	0%	
Nurses station, ward secretary	260		20	5200	1541	-70%	
Medication room	75		20	1500	1765	18%	The exam treatment rooms

Exam/Treatment room	140		0	0	0	0%	
Waiting area	50		8	400	1508	277%	VA Small Home Neighborhood, Waiting General - 220 SF for every 3 houses. 220 x 7.66 = 1685 SF
Unit supply and equipment	50		20	1000	2495	150%	VA Small Home, House: 200 SF per House = 4,000 SF
Staff toilet	25	per fixture	14	350	787	125%	All 14 staff bathrooms are unisex, single occupancy bathrooms. Massachusetts Access Board requires that 10% of staff toilets are full accessible toilets with a minimum floor area of 49 SF each. All other staff toilets are sized to accommodate a 5 ft wheelchair turning radius.
Stretcher/wheelchair storage	100		0	0	47	0%	
Kitchenette	150		9	1350	4099	204%	VA Small House, House: Kitchen/Nourishment 1 per floor, 360 x 7 = 2,520 SF
Janitor's closet	40		20	800	1418	77%	VA Small Home requires 60 sf per Janitor's Closet. DPH CMR
Resident laundry	125		6	750	922	23%	Each resident laundry room is sized to serve 30 - 36 residents
Trash collection	60		1	60	322	437%	Central trash collection and holding for the facility, near the loading dock on the lower level
III. Bathing and Toilet Facilities:							
(A) Private or shared facilities:							
Wheelchair facilities	25	per fixture	0	0		0%	
Standard facilities	15	per fixture		0		0%	
(B) Full bathroom	75		223	16725	13,095	-22%	
(C) Congregate bathing facilities:							
First tub/shower	80		1	80	185	131%	The tub and shower rooms are sized for wheelchair maneuverability and mechanical patient lift
Each additional fixture	25		12	300	2216	639%	The tub and shower rooms are sized for wheelchair maneuverability and mechanical patient lift
TOTAL SPACE ALLOWED / PROVIDED				94,596	197,879		

1 The size to be determined by the Chief Consultant, Geriatrics and Extended Care, as

#REF!

Administration Calcs					
Workstations	20				
Offices - Level 1	8				
Office - Level 0	4				
Workstations Level 0	4				
Recreation Workstations	40				
Dining - Level 3	591				
	2955	x5			
Dining - Other Levels	1769				
Total Dining	4724				
Resident Toilets	15	Level 3 - 7	900	SF	
	5	Level 2 + 8	300		
	20		1200		
Public/Resident Toilets	10	Level 3 - 7	675		
	9	Level 2 + 8 + 1	773		
	19		1448		
LEVEL 2	30		Singles		
LEVEL 3 - 7	160	32	Singles		
	10	2	Doubles		
Level 8	22		Singles		
	1		Doubles		
	212	Single			
	11	Double			
	223				
Medical Support	10	Levels 3 - 7	2360	2 per floor	
	3	Level 2 + 8 + 1	479		
	13		2839		
VA Requirements for Lounges					
Houses					
Activity Area	3600	1 per House @ 180			
Sitting Alcove	9600	4 per 12 bed house at 120 SF each			
Living Room	9000	1 per house @ 450 Sf each			
	22200				
Community Center					

Explanation of Program Overages

Program Area	Proposed SF	Explanation
Support Facilities		
Assistant administrator	193	Office sized based on anticipated function which necessitates including a small meeting table within the Assist. Administrator's Office
Lobby/waiting area. (150 minimum/600 maximum per facility)	3799	VA Small House Model requires: Neighborhood: Lobby (200 sf, 1 per every 3 houses) Waiting Room (220 per every 3 houses) and Community Center allows for an additional 400 sf Lobby, 220 sf General Waiting, 125 sf of Family Waiting.
Public/resident toilets (male/female)	2239	21 out of the 23 bathrooms are private, unisex ADA/Massachusetts Architectural Access Board compliant bathrooms. There are two multi-stalled, gendered bathrooms with the Community Center on Level 1.
Canteen/retail sales	1406	Canteen is sized to accommodate staff in addition to residents.
Medical support (staff offices/exam/treatment room/family counseling, etc.)	3132	Medical Support rooms are sized to comply with Massachusetts Department of Health minimum room dimensions.
Mail room	265	Due to number of residents and numbers of staff,
Janitor's closet	172	The Level 1 Janitor's Closet will also serve
Employee lounge (500 max. per facility)	2017	VA Small House - Allows for 150 per House. SF also accounts for central staff lounge on Level 1 which is shared by all support staff within the building.
Chapel	2115	The current chapel at the Soldiers' Home in Holyoke sees between 40-45 people per Sunday. Family of residents and members of the community often worship at the Soldiers' Home
Physical therapy	2253	Physical Therapy also sized requested number and type of equipment.
Library	1137	The library is sized to accommodate both residents and family visitors
Bed Units		
One	53512	Small Home - 250 SF per single room
Large two-bed per unit	4596	Two-bed resident rooms are sized to allow for clearances for MA DPH patients of size (5 ft at bedside) and for motorized wheelchair maneuverability
Lounge Areas	40042	VA Small Home, General Activity/Multipurpose Room: 1100, 1 per every 3 houses
Resident quiet room	3159	The two quiet rooms per 36 bed resident floors will also serve as staff huddle spaces when not being used by residents.
Medication room	1765	VA Small House requires (1) 80 sf Medication Room per house.
Waiting area	1508	VA Small Home Neighborhood, Waiting General - 220 SF for every 3 houses
Unit supply and equipment	2495	VA Small Home, House: 200 SF per House = 4,000 SF
Staff toilet	787	All 14 staff bathrooms are unisex, single occupancy bathrooms. Massachusetts Architectural Access Board requires that 10% of staff toilets are fully accessible toilets with a minimum floor area of 49 SF each. All other staff toilets are sized to accommodate a 5 ft wheelchair turning radius.
Kitchenette	4099	VA Small House, House: Kitchen/Nourishment 1 per floor at 360
Janitor's closet	1418	VA Small Home requires 60 sf per Janitor's Closet. DPH CMR
Resident laundry	922	Each resident laundry room is sized to serve 30 - 36 residents
Trash collection	322	Central trash collection and holding for the facility, near the loading dock on the lower level.
(C) Congregate bathing facilities:		
First tub/shower	185	The tub and shower rooms are sized for wheelchair maneuverability and mechanical patient lift
Each additional fixture	2216	The tub and shower rooms are sized for wheelchair maneuverability and mechanical patient lift



Department of Veterans Affairs

**STATE HOME CONSTRUCTION GRANT PROGRAM
SPACE PROGRAM ANALYSIS - NURSING HOME & DOMICILIARY**

PROJECT DESCRIPTION

Soldiers' Home in Holyoke Long-Term Care Facility and Campus Framework

PROJECT LOCATION

110 Cherry Street Holyoke, Massachusetts 01040

FAI NUMBER

**This form is required for all new construction or general renovations that effect
the square footage or floor plan of an existing home. 38.CFR 59-140**

1. SUPPORT FACILITIES	SQUARE FOOTAGE PROPOSED BY
ADMINISTRATOR'S OFFICE	193
ASSISTANT ADMINISTRATOR	184
MEDICAL OFFICER, DIRECTOR OF NURSING OR EQUIVALENT	144
NURSES' OFFICE AND DICTATION AREA	0
GENERAL ADMINISTRATION	5,096
CLERICAL STAFF	330
COMPUTER AREA	525
CONFERENCE ROOM (CONSULTATION AREA / IN-SERVICE TRAINING)	1,910
LOBBY/WAITING AREA	3,799
PUBLIC TOILETS (MALE, FEMALE)	2,239
PHARMACY	1,154
DIETETIC SERVICE	5,310
DINING AREA	4,779
CANTEEN, RETAIL SALES	1,528
MEDICAL SUPPORT (Each)	
	3,132
BARBER AND / OR BEAUTY	443
MAIL ROOM	265
JANITORS CLOSET	172
MULTIPURPOSE ROOM	3,373
EMPLOYEE LOCKERS	247
EMPLOYEE LOUNGE	2,017
EMPLOYEE TOILETS	907
CHAPEL	2,115
PHYSICAL THERAPY	2,253
OFFICE, IF REQUIRED	132
OCCUPATIONAL THERAPY	922
OFFICE, IF REQUIRED	98
LIBRARY	1,137
BUILDING MAINTENANCE STORAGE	4,789
RESIDENT STORAGE	1,400
GENERAL WAREHOUSE STORAGE (medical, dietary)	4,774
GENERAL LAUNDRY	0

1. SUPPORT FACILITIES (Continued)		SQUARE FOOTAGE PROPOSED BY
JANITOR CLOSET		1,418
RESIDENT LAUNDRY		922
TRASH COLLECTION		322
OTHER (Justify)		
2. BED UNITS		
ONE:	<input type="text" value="212"/> ROOMS	
TWO:	<input type="text"/> ROOMS	
LARGE 2:	<input type="text" value="11"/> ROOMS	
LOUNGE AREAS:		0
RESIDENT QUIET ROOM	14	3,159
CLEAN UTILITY	21	2,056
SOILED UTILITY	21	1,605
LINEN STORAGE	21	1,588
GENERAL STORAGE		2,122
MEDICATION ROOM		1,765
EXAMINATION / TREATMENT ROOM		0
WAITING AREA		1,508
UNIT SUPPLY AND EQUIPMENT		2,495
STAFF TOILET		787
STRETCHER / WHEELCHAIR STORAGE		47
KITCHENETTE		4,099
3. BATHING AND TOILET FACILITIES		
PRIVATE OR SHARED FACILITIES		
FULL BATHROOM		0
CONGREGATE BATHING FACILITIES		2,401
TOTALS		
COMPREHENSIVE SUB-TOTALS:		
SUPPORT FACILITIES		0
BED UNITS		0
BATHING AND TOILET FACILITIES		0
GRAND TOTAL:		0
I certify that the above information submitted to VA is true and correct to the best of my knowledge and ability.		
NAME OF AUTHORIZED STATE OFFICIAL	TITLE OF AUTHORIZED STATE OFFICIAL	
SIGNATURE (Sign in ink)		DATE
<p>The Paperwork Reduction Act of 1995 requires us to notify you that this information collection is in accordance with the clearance requirements of section 3507 of this Act. The public reporting burden for this collection of information is estimated to average 2 hours per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. We may not collect or sponsor and you are not required to respond to, a collection unless it has a valid OMB Control Number. This collection of information is collected under the authority of 38 U.S. Code Sections 8133(a) and 8135(a). VA will use this information, along with other documents submitted by the States to determine the feasibility of the projects for VA participation, to meet VA requirements for a grant award and to rank the projects in establishing the annual fiscal year priority list. Although response is voluntary, VA will be unable to authorize a grant without a complete package. Your failure to furnish this information will have no effect on any of other benefits to which you are entitled.</p>		

Project: Soldiers' Home in Holyoke Long-Term Care Facility and Campus Framework
 Project Location 110 Cherry Street, Holyoke, MA 01040
 Subject: Explanation of Program Overages – CFR 59.160
 VA Form: 10-0388-3 Attachment

Program Area	Proposed SF	Explanation
Support Facilities		
Assistant administrator	184	The Assistant Administrator's Office is sized based on anticipated duties which necessitates including a small, private meeting space within the Assist. Administrator's Office
Lobby/waiting area. (150 minimum/600 maximum per facility)	3799	VA Small House Model requires: Neighborhood: Lobby (200 sf, 1 per every 3 houses) Waiting Room (220 per every 3 houses) and Community Center allows for an additional 400 sf Lobby, 220 sf General Waiting, 125 sf of Family Waiting.
Public/resident toilets (male/female)	2239	21 out of the 23 bathrooms are private, unisex ADA/Massachusetts Architectural Access Board compliant bathrooms. There are two multi-stalled, gendered bathrooms with the Community Center on Level 1.
Canteen/retail sales	1406	The Canteen is sized to accommodate staff in addition to residents.
Medical support (staff offices/exam/treatment room/family counseling, etc.)	3132	Medical Support rooms are sized to comply with Massachusetts Department of Health minimum room dimensions.
Mail room	265	Due to number of residents and numbers of staff, a mail room of this size is required.
Janitor's closet	172	The Janitor's closets are sized to accommodate housekeeping cart and other necessary supplies, equipment, and plumbing.
Employee lounge (500 max. per facility)	2017	The VA Small House Guide allows for 150 SF per House. The program area also accounts for central staff lounge on Level 2 which is shared by all support staff within the building.

Chapel	2115	The current chapel at the Soldiers' Home in Holyoke sees between 40-45 people per Sunday service. Family of residents and members of the community often worship at the Soldiers' Home alongside its resident.
Physical therapy	2253	Physical Therapy also sized based on the requested number and type of equipment.
Library	1137	The library is sized to accommodate both residents and family visitors.
Building maintenance storage	4789	The Soldiers' Home in Holyoke currently employs tradespeople that perform much of the building repairs and maintenance on site.
General warehouse storage	4774	The Soldiers' Home is required to maintain enough on-site and storage to operate for 96 continuous hours. The amount of storage specified is required to meet this requirement.
Medical/dietary/pharmacy	2840	This includes clinical support functions such as a Mortuary, Food Prep area in resident floor kitchen/dining areas. The Food Prep areas within the resident floor are intended to serve up to 36 residents daily and are equipped to warm food, plate food and to handle washing of service after meals.
Bed Units		
One	53512	The VA Small House Guide allows 250 SF per single room
Large two-bed per unit	4596	Two-bed resident rooms are sized to allow for clearances for MA DPH patients -of-size (5 ft at bedside) and for motorized wheelchair maneuverability
Lounge Areas	25881	VA Small Home Guide allows for a General Activity/Multipurpose Room: 1100, 1 per every 3 houses
Resident quiet room	3159	The two quiet rooms per 36 bed resident floors will also serve as staff huddle spaces when not being used by residents.
Medication room	1765	The VA Small House requires (1) 80 sf Medication Room per house.

Waiting area	1508	VA Small House Guide allows, within a Neighborhood, Waiting General - 220 SF for every 3 houses
Unit supply and equipment	2495	VA Small House guides allows for 200 SF per House
Staff toilet	787	All 14 staff bathrooms are unisex, single occupancy bathrooms. Massachusetts Architectural Access Board requires that 10% of staff toilets are fully accessible toilets with a minimum floor area of 49 SF each. All other staff toilets are sized to accommodate a 5 ft wheelchair turning radius.
Kitchenette	4099	The VA Small House allows for Kitchen/Nourishment 1 per floor at 360 sf
Janitor's closet	1418	VA Small House allows for 60 sf per Janitor's Closet. DPH CMR
Resident laundry	922	Each resident laundry room is sized to serve 30 - 36 residents
Trash collection	322	This is the central trash collection and holding for the facility, near the loading dock on the lower level.



STATE HOME CONSTRUCTION GRANT PROGRAM SPACE PROGRAM ANALYSIS - ADULT DAY HEALTH CARE

PROJECT DESCRIPTION **Soldiers' Home in Holyoke Long-Term Care Facility and Campus Framework**

PROJECT LOCATION **110 Cherry Street Holyoke, Massachusetts 01040**

FAI NUMBER

**This form is required for all new construction or general renovations that effect
the square footage or floor plan of an existing home.**

1. SUPPORT FACILITIES	SQUARE FOOTAGE PROPOSED BY
ADMINISTRATOR'S OFFICE	140
ASSISTANT ADMINISTRATOR	
MEDICAL OFFICER, DIRECTOR OF NURSING OR EQUIVALENT	107
NURSES' OFFICE AND DICTATION AREA	0
GENERAL ADMINISTRATION	556
CLERICAL STAFF	274
COMPUTER AREA	0
CONFERENCE ROOM (CONSULTATION AREA / IN-SERVICE TRAINING)	0
LOBBY/RECEIVING/WAITING AREA	
PUBLIC TOILETS (MALE, FEMALE)	0
PARTICIPANT TOILETS (MALE, FEMALE)	295
DINING AREA	723
MEDICAL SUPPORT (Each)	
JANITORS CLOSET	
MULTIPURPOSE ROOM	785
EMPLOYEE LOCKERS	23
EMPLOYEE LOUNGE	391
EMPLOYEE TOILETS	122
PHYSICAL THERAPY	
OFFICE, IF REQUIRED	
OCCUPATIONAL THERAPY	
OFFICE, IF REQUIRED	
MEDICAL/DIETARY	
BUILDING MAINTENANCE STORAGE	
RESIDENT STORAGE	237
GENERAL WAREHOUSE STORAGE (medical, dietary)	66
GENERAL LAUNDRY	95
PARTICIPANT LAUNDRY	
TRASH COLLECTION	
PARTICIPANT QUIET ROOM	211
CLEAN UTILITY	105
SOILED UTILITY	100

1. SUPPORT FACILITIES (Continued)	SQUARE FOOTAGE PROPOSED BY
GENERAL STORAGE	
MEDICATION ROOM	390
EXAMINATION / TREATMENT ROOM	
WAITING AREA	
PROGRAM SUPPLY AND EQUIPMENT	
STAFF TOILET	
WHEELCHAIR STORAGE	
KITCHENETTE	305
OTHER (<i>Justify</i>)	
GRAND TOTAL:	5,440

I certify that the above information submitted to VA is true and correct to the best of my knowledge and ability.

NAME OF AUTHORIZED STATE OFFICIAL	TITLE OF AUTHORIZED STATE OFFICIAL
SIGNATURE	DATE

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A9

Five-year capital plan for state's entire state home program

A-9 Five Year Capital Plan

Community Living Center (234 Replacement Beds) Soldiers' Home in Holyoke, Holyoke, Massachusetts

Project	Description	Total Project Cost	Anticipated Schedule
New Community Living Center	Construction of new facility with 234 replacement beds per 2017 Small House Design	\$375,500,000	Design/Bid: April 2021 Construction June 2022 – June 2026
Emergency Generator Power	Study to replace existing failing Emergency Power Generator	\$1,005,799	Study phase ongoing from June 2021

A10

Financial plan for state facility's first three years of operation

A11

Documentation that there is a reasonable basis to conclude that the facility when complete will be fully occupied



The Commonwealth of Massachusetts
Executive Office of Health and Human Services
Soldiers' Home in Holyoke
110 Cherry Street
Holyoke, MA 01040-2829
TEL: (413) 532-9475 FAX: (413) 538-7968
www.mass.gov/hly/

CHARLES D. BAKER
Governor

KARYN E. POLITO
Lieutenant Governor

MARYLOU SUDDERS
Secretary, EOHHS

CHERYL LUSSIER POPPE
Secretary, DVS

MICHAEL LAZO
Interim Superintendent

March 22, 2021


Ms. Ana Gaug
Department of Veteran Affairs
Office of Geriatric and Extended Care
State Home Construction Grant Program (10NA5)

Re: Demand for Facility
State Construction Application
Section A, Item 11

Dear Ms. Gaug:

With reference to the Grant Checklist requirement, Section A, Item 11 regarding occupancy of the facility once completed, please note the following:

Based upon demographic data submitted in the Needs Assessment for the proposed project; pre-COVID-19 long-term care bed occupancy rate of mid 95%, (currently during COVID operations at approximately 50%), and a waiting list of 100+ Veterans at the Soldiers Home in Holyoke, Massachusetts; it is reasonable to conclude that once completed, the new facility will be fully occupied. Additionally, VA Veteran population data for Massachusetts projects that in 2025, there will be 47,737 Veterans in the catchment area of the Soldiers Home of Holyoke, Massachusetts. 49% of the Veterans in the Holyoke catchment area are 65+ years old, with 9% of Veterans over age 85 years old. The projected Veteran population will slowly decline; however, the age 85+ population will grow to 13% of the total population with the 65+ age group remaining unchanged at 49% of the total Veteran population. Although there will be less Veterans in Holyoke's catchment area; a higher percentage of the Veterans will need physical rehabilitative services. This projected Veteran population will continue to place demand on the long-term care bed capacity in the proposed building project.

Sincerely,

Michael Lazo, MBA
Interim Superintendent
Soldiers Home in Holyoke

"CARE WITH HONOR AND DIGNITY"

A12

Authorized state officials certification of the total number of state-operated nursing home and domiciliary beds and occupancy rate



The Commonwealth of Massachusetts
Executive Office of Health and Human Services
Soldiers' Home in Holyoke
110 Cherry Street
Holyoke, MA 01040-2829
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Secretary, DVS

MICHAEL LAZO
Interim Superintendent

March 22, 2021

Ms. Anna Gaug
Department of Veteran Affairs
Office of Geriatric and Extended Care
State Home Construction Grant Program
State Veterans Home Construction Grants Program (10NA5)

Re: Certification of the Total Number of State-Operated Nursing Home and Domiciliary
Beds and Occupancy Rate
State Home Construction / Acquisition Grants Application
Section A, Item 12

Dear Ms. Gaug:

In reference to the Grant Application Checklist Section A, Item 12, please note that the Soldiers Home in Holyoke and the Soldiers Home in Chelsea, Massachusetts have identified a total number of 335 Domiciliary beds within the Commonwealth's State Veteran Homes. The total number of allowable Nursing Home beds is 189 for Chelsea and 250 for Holyoke. All of the numbers fall well below the maximum allowable 944 beds in accordance with 38 CFR 59.40. The average occupancy rate for long term care beds pre-COVID is in the 95% range, (the current range is approximately 50%). The proposed project request is for 234 long term care replacement beds with no Domiciliary beds; however, a 40-50 Registrant Adult Day Health Program will be available to Veterans on site.

Sincerely,

Michael Lazo, MBA
Interim Superintendent
Soldiers Home in Holyoke

A13

Authorized state official's certification that the number of state home beds does not exceed the requirement in the 38 CFR 59.40 or justification for number of state home beds exceeding 38 CFR 59.40 based on travel distance



The Commonwealth of Massachusetts
Executive Office of Health and Human Services
Soldiers' Home in Holyoke
110 Cherry Street
Holyoke, MA 01040-2829
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Secretary, EOHHS

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Secretary, DVS

MICHAEL LAZO
Interim Superintendent

March 22, 2021

Ms. Ana Gaug
Department of Veteran Affairs
Office of geriatrics and Extended Care
State Home Construction Grant Program
State Veterans Home Construction Grants Program (10NA5)

Re: Certification Re: 38CFR 59.40
State Home Construction / Acquisition Grants Application
Section A, Item 13

Dear Ms. Gaug:

With reference to the Grant Application Checklist requirement, Section A, Item 13 regarding total bed authorizations not exceeding the requirement in 38 CFR 59.40, please note the following information:

Per 38CFR 59.40, the maximum number of allowable state home, nursing home and domiciliary beds, based on 2020 projects is 944 for Massachusetts. Based on the VA's last bed counts of state homes, the Soldiers Home in Holyoke is authorized 250 beds for long term care and 40 Domiciliary beds and does not exceed the maximum allowable beds per 38 CFR 59.40. The proposed Community Living Center project at the Soldiers Home in Holyoke, Massachusetts is for 234 replacement long term care beds, no Domiciliary beds and a 40-50 Registrant Adult Day Health Program operating on site.

Sincerely,

A handwritten signature in cursive script that reads "Michael Lazo".

Michael Lazo, MBA
Interim Superintendent
Soldiers Home in Holyoke