

GENERAL NOTES

1. PLAN BEARINGS ARE BASED UPON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM - MAINLAND ZONE (NAD83).
2. ELEVATIONS ARE BASED UPON THE RELATIVE DATUM OF EL. 100.00 AT NOTED BENCHMARK LOCATIONS.
3. ALL BIDDERS ARE REQUIRED TO INSPECT THE PROJECT SITE IN ITS ENTIRETY PRIOR TO SUBMITTING THEIR BID, AND BECOME FAMILIAR WITH ALL CONDITIONS AS THEY MAY AFFECT THEIR BID. CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING THE CONSTRUCTION.
4. LOCATIONS OF ANY UTILITIES SHOWN ON THESE PLANS ARE BASED UPON FIELD EVIDENCE AND READILY AVAILABLE RECORD INFORMATION. OTHER UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE PLANS.
5. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
6. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE CLIENT & OWNER.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
8. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE CLIENT & OWNER.
9. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS.
10. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE CLIENT & OWNER.
11. ALL WORK SHOWN ON THE PLANS AS BOLD SHALL REPRESENT PROPOSED WORK. THE TERM "PROPOSED (PROP)" INDICATES WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET (R&R)", OR REMOVE, RELOCATE, RESET, (R,R&R).
12. ALL KNOWN EXISTING STATE, COUNTY AND CITY LOCATION LINES AND PRIVATE PROPERTY LINES HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND ARE INDICATED ON THE PLANS. PARCEL BOUNDARIES ARE SOURCED FROM THE "PROPERTY TAX PARCELS" LAYER PUBLISHED BY MASSGIS. BUILDING OUTLINES ARE SOURCED FROM THE "BUILDING STRUCTURES (2-D)" LAYER PUBLISHED BY MASSGIS. NO PROPERTY SURVEY WAS CONDUCTED AS PART OF THIS PROJECT.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, THE ERECTION OF TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERING, OR FENCES AS NEEDED.
14. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
15. FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE CLIENT.
16. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE ENGINEER, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
17. THE CONTRACTOR SHALL CALL DIGSAFE AT 811 AT LEAST 72 HOURS, SATURDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE DIGSAFE PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE CLIENT PRIOR TO EXCAVATION.
18. CONTRACTOR IS RESPONSIBLE FOR STAKING CONSTRUCTION BASELINES, BLDG. STRUCTURES, ETC WITH A LICENSED SURVEYOR IN FIELD. NO CONSTRUCTION WILL BE PERFORMED WITHOUT THE PROPOSED BASELINES AND LAYOUTS APPROVED BY THE ENGINEER.
19. NO FILL SHALL CONTAIN HAZARDOUS MATERIALS.
20. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND PERIMETER OF WORK AREA (LIMIT OF WORK). FENCE SHALL NOT IMPEDE TRAVEL WAYS.
21. ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO SUBMITTING BID.
22. ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
23. CONTRACTOR'S STAGING AREA MUST BE WITHIN THE CONTRACT LIMIT LINE (LIMIT OF WORK AS IDENTIFIED ON THE PLANS).
24. THE CONTRACTOR SHALL KEEP ALL STREETS, PARKING LOTS AND WALKS THAT ARE NOT RESTRICTED FROM PUBLIC USE DURING CONSTRUCTION BROOM CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE ACCEPTABLE METHODS AND MATERIALS TO MAINTAIN ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION.
25. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CLIENT.
26. THE LIMIT OF WORK SHALL BE DELINEATED IN THE FIELD PRIOR TO THE START OF SITE CLEARING OR CONSTRUCTION.
27. HAULING OF EARTH MATERIALS TO AND FROM THE SITE SHALL BE RESTRICTED TO THE HOURS OF 7:00 AM TO 5:00 PM MONDAY THROUGH FRIDAY. HAULING SHALL ALSO BE PROHIBITED ON STATE AND FEDERAL HOLIDAYS.
28. ANY BOULDERS 3 CY OR SMALLER SHALL BE CONSIDERED UNDOCUMENTED FILL AND SHALL BE DISPOSED OF AT NO ADDITIONAL COST TO THE CLIENT.

EROSION AND SEDIMENT CONTROL NOTES

ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE BY G.C. PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION.

1. THE G.C. SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
2. CONTRACTOR SHALL MEET ALL OF THE STATE OF MASSACHUSETTS D.E.P. WETLAND ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
3. EXCAVATED MATERIAL STOCKPILED ON THE SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
4. ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF CONTRACT SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION. SEE INLET PROTECTION DETAIL.
5. ANY AREA OUTSIDE THE PROJECT LIMIT THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE CLIENT.
6. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE CLIENT.
7. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC/Private ROADS.

DESCRIPTION OF WORK

THIS PROJECT INCLUDES STREETSCAPE AND STORMWATER CONTROL IMPROVEMENTS ON PORTIONS OF DEXTER AVE, FRANCIS STREET, AND TEMPLETON PARKWAY IN WATERTOWN.

- AT 75% DESIGN, THE PROJECT INCLUDES:
- 16 NEW STREET TREES
 - 9 STORMWATER TREE TRENCHES
 - 111 SHRUBS
 - 28 PERENNIAL PLANTINGS IN 2 BIORETENTION AREAS
 - 2,700 SF OF NEW GRASSED GREEN SPACE
 - 645 LF OF NEW GRANITE CURB
 - 2,320 SF OF SIDEWALK REPLACEMENT OR NEW CONCRETE WORK
 - 3 NEW ADA-COMPLIANT CROSSWALKS
 - 6 LEACHING CATCH BASINS
 - 6 NEW DEEP SUMP CATCH BASINS
 - 2 NEW DRAINAGE MANHOLES

DEMOLITION & SITE PREPARATION NOTES

1. THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.
2. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL ALLOW ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.
3. UNLESS SPECIFICALLY NOTED TO BE SAVED / STOCKPILED (R&S) OR REUSED / RELOCATED (R&R), ALL SITE FEATURES CALLED FOR REMOVAL (REM) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC. TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.
4. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE CLIENT'S REPRESENTATIVE AT NO ADDITIONAL COST.
5. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
6. ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
7. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY THE CLIENT OR THE CLIENT'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

GRADING & DRAINAGE NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE CLIENT.
2. CONTRACTOR SHALL ENSURE ALL AREAS ARE PROPERLY PITCHED TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
3. EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE CLIENT.
4. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
5. ALL FILL SHALL BE PLACED IN LIFTS & COMPACTED IN ACCORDANCE WITH THE EARTH WORK SPEC.
6. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
7. RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED (L&S) UNLESS OTHERWISE NOTED.
8. SEE EARTHWORK SECTION OF SPECIFICATIONS FOR SPECIFIC EXCAVATION AND FILLING PROCEDURES.

LAYOUT & MATERIALS NOTES

1. REFER TO EXISTING CONDITIONS PLANS FOR SURVEY INFORMATION.
2. COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED BY THE CLIENT'S REPRESENTATIVE.
3. ALL WORK SHALL BE PERFORMED BY CONTRACTOR UNLESS SPECIFICALLY INDICATED THAT THE WORK WILL BE PERFORMED "BY OTHERS".
4. TO FACILITATE LAYOUT OF PROPOSED SITE FEATURES AND FACILITIES, LAYOUT INFORMATION FOR CERTAIN FUTURE WORK, WHICH IS NOT INCLUDED WITHIN THE SCOPE OF THIS CONTRACT HAS BEEN PROVIDED ON THE LAYOUT AND MATERIALS PLAN FOR INFORMATION ONLY. THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. SOME ITEMS ARE "NOT IN CONTRACT" (NIC) AND SHOWN FOR REFERENCE ONLY.
5. THE LAYOUT OF SITE AMENITIES AND FENCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
6. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS REQUIRED, AT NO ADDITIONAL COST TO THE OWNER.
7. ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES AND SHALL BE TREATED WITH AN RS-1 TACK COAT AT POINT OF CONNECTION.
8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES.
10. ALL REFERENCES TO LOAM AND SEED (L&S) REFER TO HYDROMULCH SEEDED LAWN, UNLESS NOTED OTHERWISE.
11. REFER TO DETAIL DRAWINGS FOR CONSTRUCTION DETAILS.
12. CONTRACTOR SHALL PERFORM ALL EARTHWORK IN CONFORMANCE WITH PROJECT GEOTECHNICAL SPECIFICATIONS.
13. EXCESS FILL MATERIAL SHALL BE REMOVED & DISPOSED OF BY THE CONTRACTOR AT NO ADDITIONAL COST.

ABBREVIATIONS

GENERAL

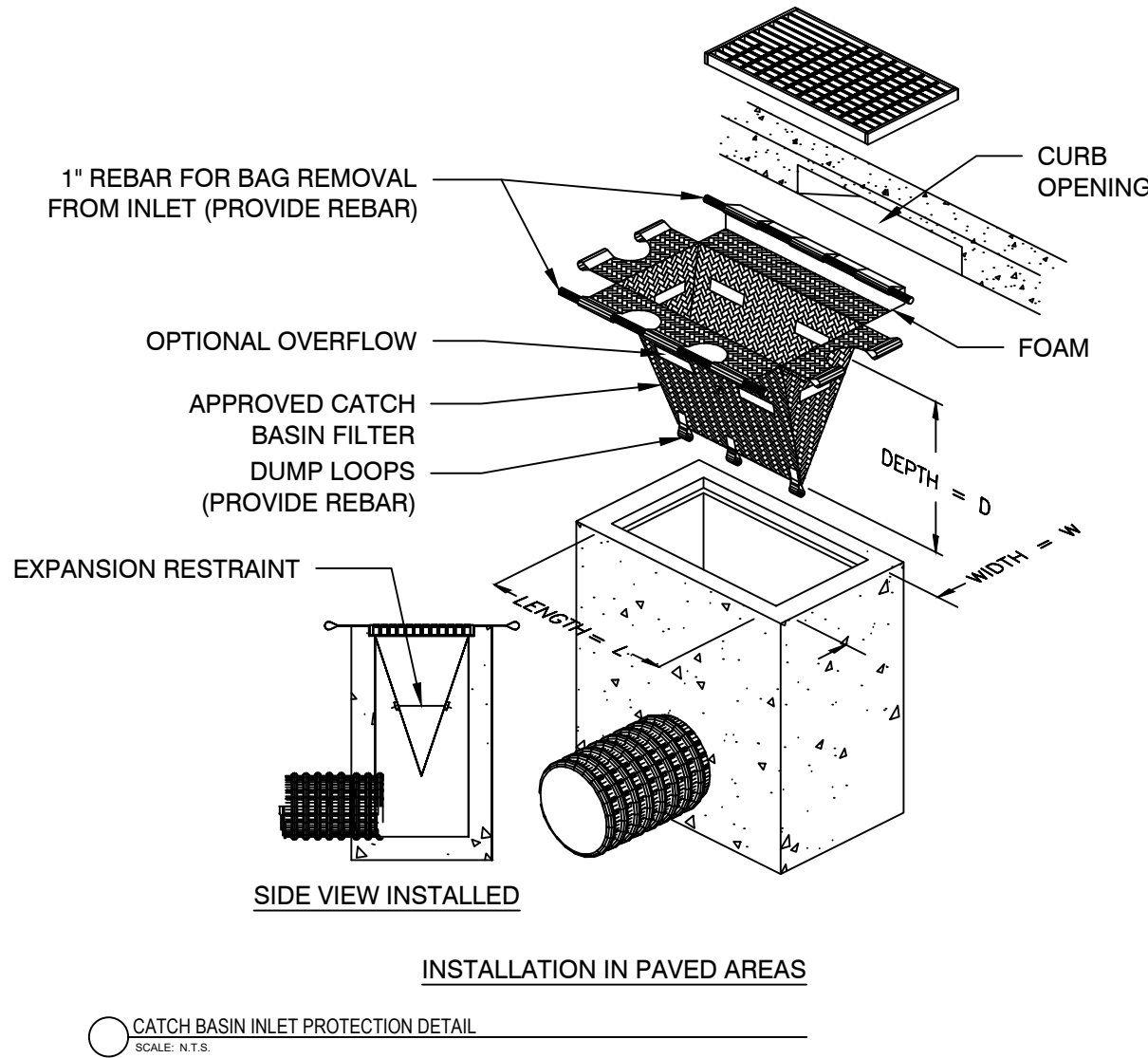
PROP	PROPOSED
ADJ	ADJUST
BIT. CONC.	BITUMINOUS CONCRETE
CEM. CONC.	CEMENT CONCRETE
B	BASELINE
N.T.S.	NOT TO SCALE
B.M.	BENCH MARK
ABAN	ABANDON
MB	MAIL BOX
GRAN. CURB	GRANITE CURB
EXIST. (OR EX.)	EXISTING
FDN	FOUNDATION
F.L. (OR F)	FLOW LINE
P	PROPERTY LINE
P/MT	PAVEMENT
P.W.W.	PAVED WATERWAY
RC	REINFORCED CONCRETE
M.H.B.	MASSACHUSETTS HIGHWAY BOUND
REM.I.	REMOVE
REMOD	REMODEL
RET	RETAIN
R.O.W.	RIGHT-OF-WAY
R&R	REMOVE AND RESET
R.&R	REMOVE, RELOCATED AND RESET
R&S	REMOVE AND STACK
R&D	REMOVE AND DISPOSE
SB	STONE BOUND
NIC	NOT IN CONTRACT
H.C.	HANDICAP
WCR	WHEELCHAIR RAMP
FF	FINISHED FLOOR
HMA	HOT MIX ASPHALT
G.C.	GENERAL CONTRACTOR
E.C.	ELECTRICAL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
SWEL	SOLID WHITE EDGE LINE
BWLL	BROKEN WHITE LANE LINE
SYEL	SOLID YELLOW EDGE LINE
SD/H	STONE BOUND/DRILL HOLE
CLF	CHAIN LINK FENCE
TEMP.	TEMPORARY
EQ	EQUIPMENT
H.C.	HANDICAP
EOP	EDGE OF PAVEMENT
PROT	PROTECT
CTE	CONNECT TO EXISTING
RL	ROOF LEADER
L.O.W.	LIMIT OF WORK
VIF	VERIFY IN FIELD
APPROX.	APPROXIMATE
TEM	TEMPORARY BENCHMARK
ALT.	ALTERNATE
BVV	BORDERING VEGETATED WETLAND

UTILITIES

GICI	GUTTER INLET W/ CURB INLET
CBCI	CATCH BASIN W/ CURB INLET
CB	CATCH BASIN
C.I.T.	CHANGE IN TYPE
CTE	CONNECT TO EXISTING
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
CI	CURB INLET
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
DI	DUCTILE IRON PIPE
GI	GUTTER INLET
ACCM PIPE	ASPHALT COATED CORRUGATED METAL PIPE
HYD	HYDRANT
INV. ELEV.	INVERT ELEVATION
UP	UTILITY POLE
SMH	SEWER MANHOLE
WG	WATER GATE
DS	DOWN SPOUT
HDPE	HIGH DENSITY POLYETHYLENE PIPE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
DMH	DRAIN MANHOLE
LB	LEACHING BASIN
LG	LEACHING GALLEY
CI	CAST IRON
OCS	OUTLET CONTROL STRUCTURE
OGT	OIL AND GRIT TRAP
VC	VITRIFIED CLAY PIPE
LP	LIGHT POLE
OHW	OVERHEAD WIRE
UPLP	UTILITY POLE WITH LIGHT
SWTU	STORM WATER TREATMENT UNIT
HH	HANDHOLE
GW	GARAGE WASTE
CO	CLEANOUT
LC	LEACHING CHAMBER
GV	GATE VALVE

ALIGNMENT/GRADING

BW	BOTTOM OF WALL
BC	BOTTOM OF CURB
PI	POINT OF INTERSECTION
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PRC	POINT OF REVERSE CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVC	POINT OF VERTICAL CURVATURE
PVT	POINT OF VERTICAL TANGENCY
ELEV	ELEVATION
CC	CENTER OF CURVE
H.P.	HIGH POINT
L.P.	LOW POINT
R	RADIUS OF CURVATURE
STA	STATION
S.S.D.	STOPPING SIGHT DISTANCE
TO	TOP OF CURB
TW	TOP OF WALL



Project:
CITY OF WATERTOWN, MA



EQUITY-BASED
COMMUNITY GREENING
PROGRAM
WATERTOWN, MA



55 Walkers Brook Drive, Suite 100,
Reading, MA 01867
978.532.1900 800.SAMPSON
www.westonandsampson.com

OWNER:
NAME: CITY OF WATERTOWN, MA
ADDRESS: 149 MAIN ST.
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PHONE: 617.972.6486

APPLICANT: SAME AS OWNER

PREPARING FIRM:
NAME: WESTON & SAMPSON
ENGINEERS INC.
ADDRESS: 55 WALKERS BROOK DR.
SUITE 100, READING, MA 01867
PHONE: 978.532.1900

PROJECT ADDRESS: DEXTER AVE,
FRANCIS ST, TEMPLETON PKWY.
SEE PLANS FOR PROJECT LIMITS.

ASSESSORS MAP AND LOT NUMBER:
MULTIPLE, SEE PLANS

PROPOSED LAND USE:
SAME AS EXISTING, TWO FAMILY (T),
APARTMENT - LOW DENSITY (R.75).

No.	Date	Description
	8/30/2022	75% DESIGN DRAWINGS

Seal:

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75% DESIGN
SUBMITTAL - NOT FOR
CONSTRUCTION

Scale:

Date:

Drawn By:

Reviewed By:

Approved By:

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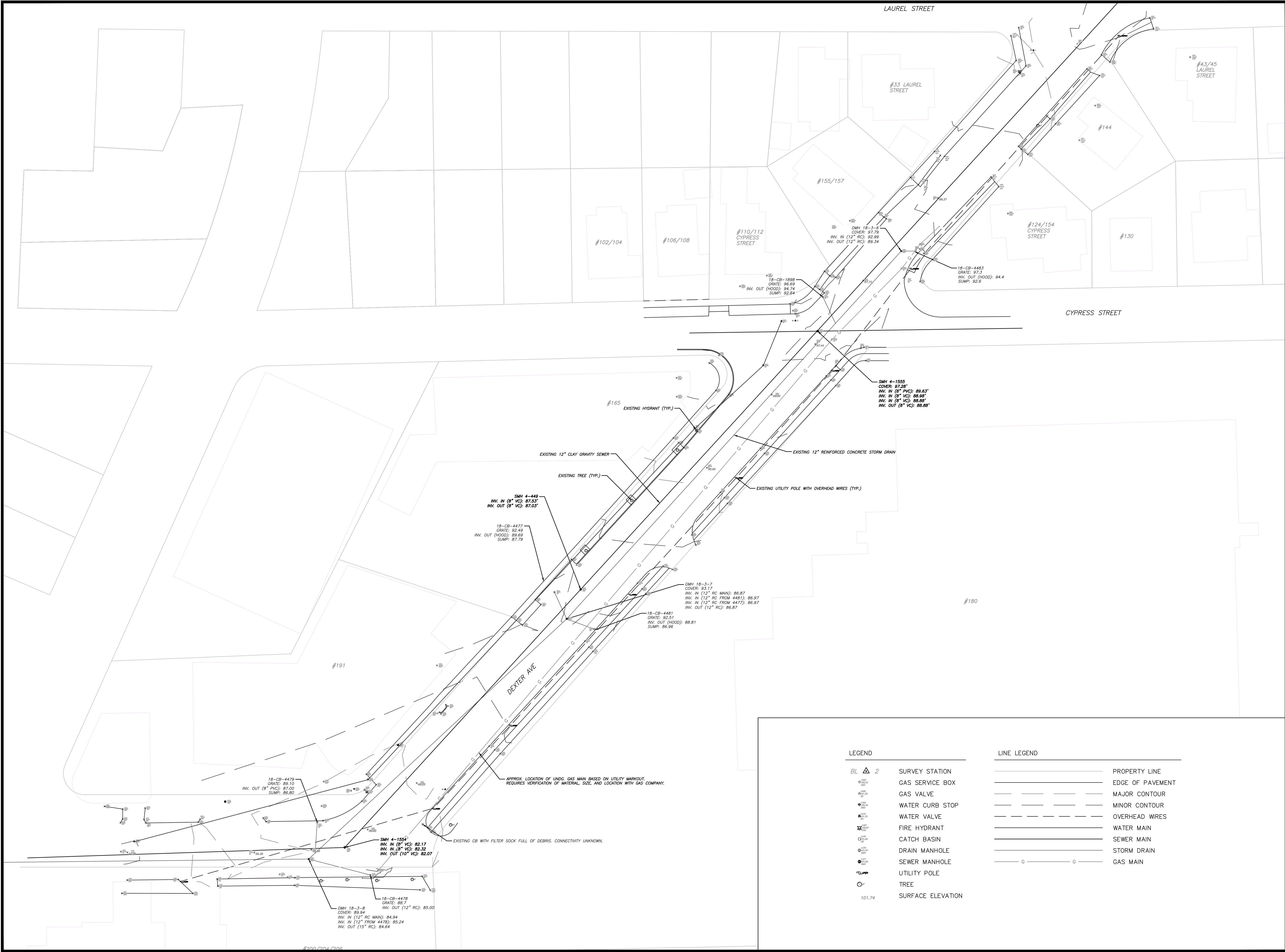
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NOTES AND
ABBREVIATIONS

Sheet Number:

G100

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1	6/30/2022	75% DESIGN DRAWINGS

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Date:

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W&S Project No:

W&S File No:

Drawing Title:

DEXTER AVE
EXISTING
CONDITIONS PLAN

Sheet Number:

C100

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LEGEND		LINE LEGEND	
	2 SURVEY STATION		PROPERTY LINE
	GAS SERVICE BOX		EDGE OF PAVEMENT
	GAS VALVE		MAJOR CONTOUR
	WATER CURB STOP		MINOR CONTOUR
	WATER VALVE		OVERHEAD WIRES
	FIRE HYDRANT		WATER MAIN
	CATCH BASIN		SEWER MAIN
	DRAIN MANHOLE		STORM DRAIN
	SEWER MANHOLE		GAS MAIN
	UTILITY POLE		
	TREE		
	101.74 SURFACE ELEVATION		



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W&S File No:

Drawing Title:

FRANCIS STREET
EXISTING
CONDITIONS PLAN

Sheet Number:

C101

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LEGEND		
BL Δ 2		SURVEY STATION
		GAS SERVICE BOX
		GAS VALVE
		WATER CURB STOP
		WATER VALVE
		FIRE HYDRANT
		CATCH BASIN
		DRAIN MANHOLE
		SEWER MANHOLE
		UTILITY POLE
		TREE
101.74		SURFACE ELEVATION

LINE LEGEND	
	PROPERTY LINE
	EDGE OF PAVEMENT
	MAJOR CONTOUR
	MINOR CONTOUR
	OVERHEAD WIRES
	WATER MAIN
	SEWER MAIN
	STORM DRAIN
	GAS MAIN



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Approved By:

W&S Project No:

W&S File No:

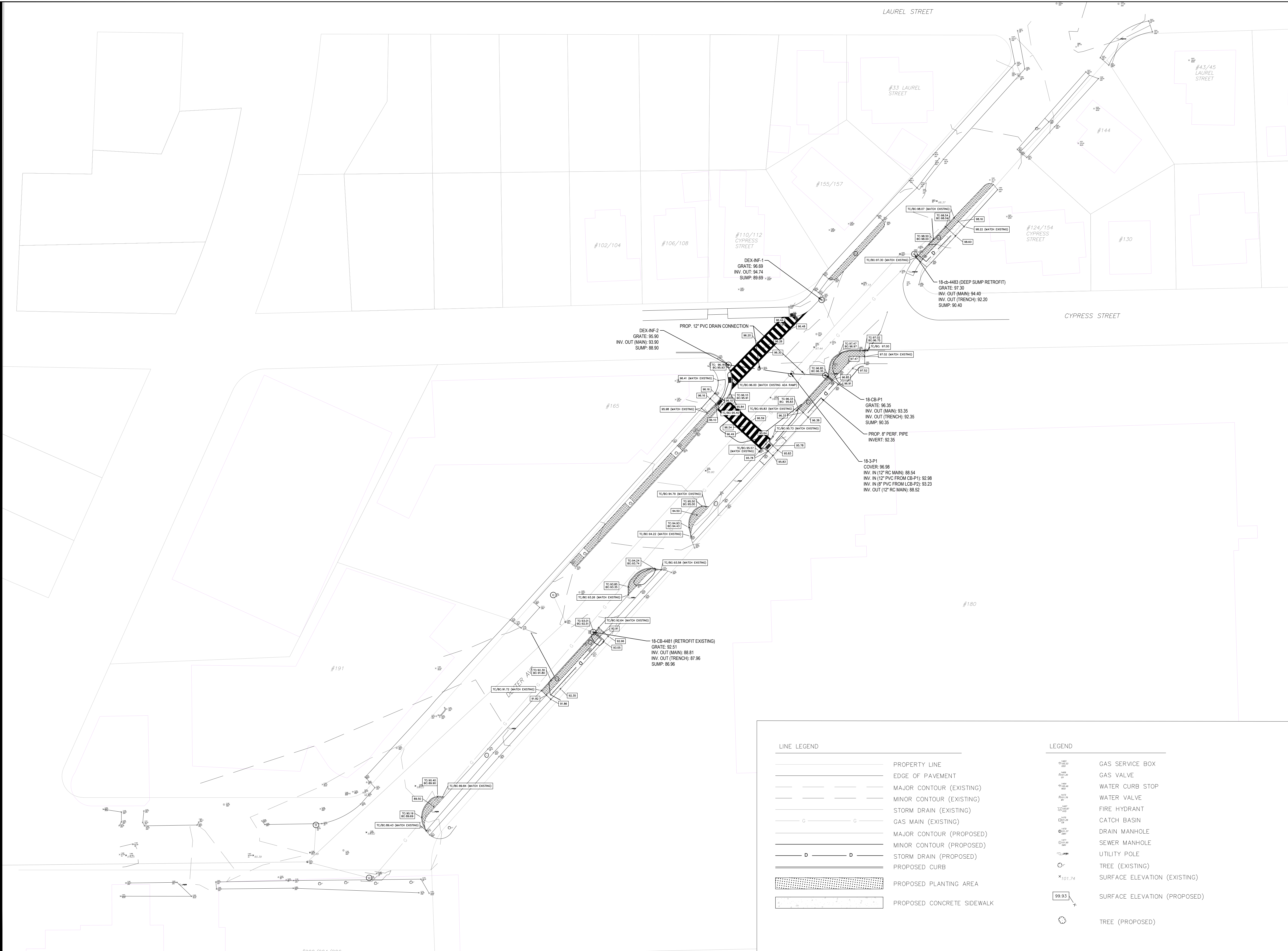
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TEMPLETON PKWY
EXISTING
CONDITIONS PLAN

Sheet Number:

C102

P:\MA\Watertown\MA\EN021-1144 - FY22 IMP Action Grant - Equity-Based Community Greening Program\Task 4 - 75 Pct Design\Design Plan Set\FY25-Design\planbet-REV.dwg



Project:
CITY OF WATERTOWN, MA



EQUITY-BASED
COMMUNITY GREENING
PROGRAM
WATERTOWN, MA

Weston & Sampson
55 Walkers Brook Drive, Suite 100,
Reading, MA 01867
978.532.1900 800.SAMPSON
www.westonandsampson.com

OWNER:
NAME: CITY OF WATERTOWN, MA
ADDRESS: 149 MAIN ST.
WATERTOWN, MA 02472
PHONE: 617.972.6486

APPLICANT: SAME AS OWNER

PREPARING FIRM:
NAME: WESTON & SAMPSON
ENGINEERS INC.
ADDRESS: 55 WALKERS BROOK DR.
SUITE 100, READING, MA 01867
PHONE: 978.532.1900

PROJECT ADDRESS: DEXTER AVE,
FRANCIS ST, TEMPLETON PKWY.
SEE PLANS FOR PROJECT LIMITS.

ASSESSORS MAP AND LOT NUMBER:
MULTIPLE, SEE PLANS

PROPOSED LAND USE:
SAME AS EXISTING, TWO FAMILY (T),
APARTMENT - LOW DENSITY (R.75).

Revisions:

No.	Date	Description
1	8/30/2022	75% DESIGN DRAWINGS

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Reviewed By:

Approved By:

W&S Project No:

W&S File No:

Drawing Title:

GRADING/
DRAINAGE PLAN -
DEXTER AVE

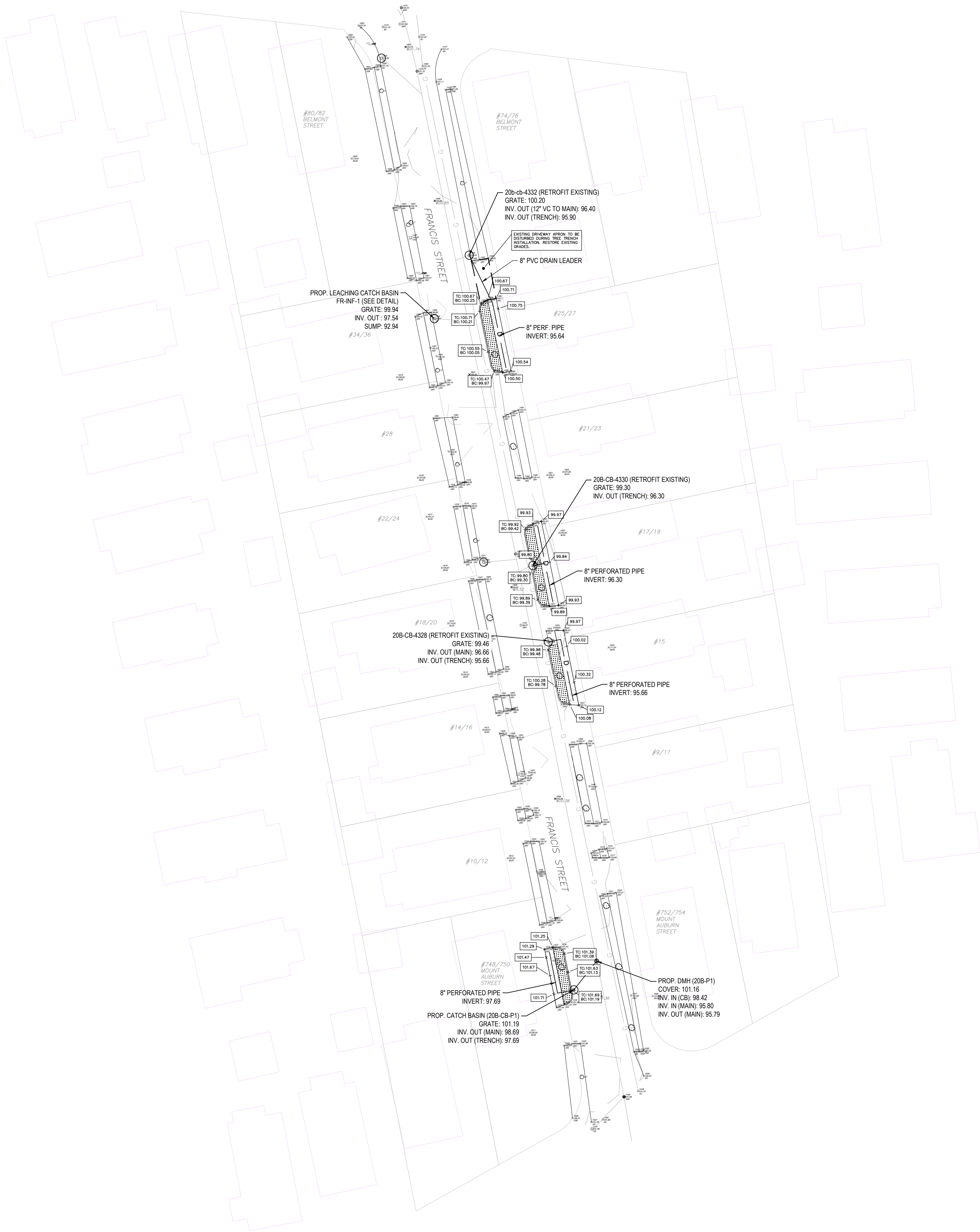
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C200

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LINE LEGEND	
	PROPERTY LINE
	EDGE OF PAVEMENT
	MAJOR CONTOUR (EXISTING)
	MINOR CONTOUR (EXISTING)
	STORM DRAIN (EXISTING)
	GAS MAIN (EXISTING)
	MAJOR CONTOUR (PROPOSED)
	MINOR CONTOUR (PROPOSED)
	STORM DRAIN (PROPOSED)
	PROPOSED CURB
	PROPOSED PLANTING AREA
	PROPOSED CONCRETE SIDEWALK

LEGEND	
	GAS SERVICE BOX
	GAS VALVE
	WATER CURB STOP
	WATER VALVE
	FIRE HYDRANT
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	UTILITY POLE
	TREE (EXISTING)
	SURFACE ELEVATION (EXISTING)
	SURFACE ELEVATION (PROPOSED)
	TREE (PROPOSED)



Project:
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W&S File No:

Drawing Title:

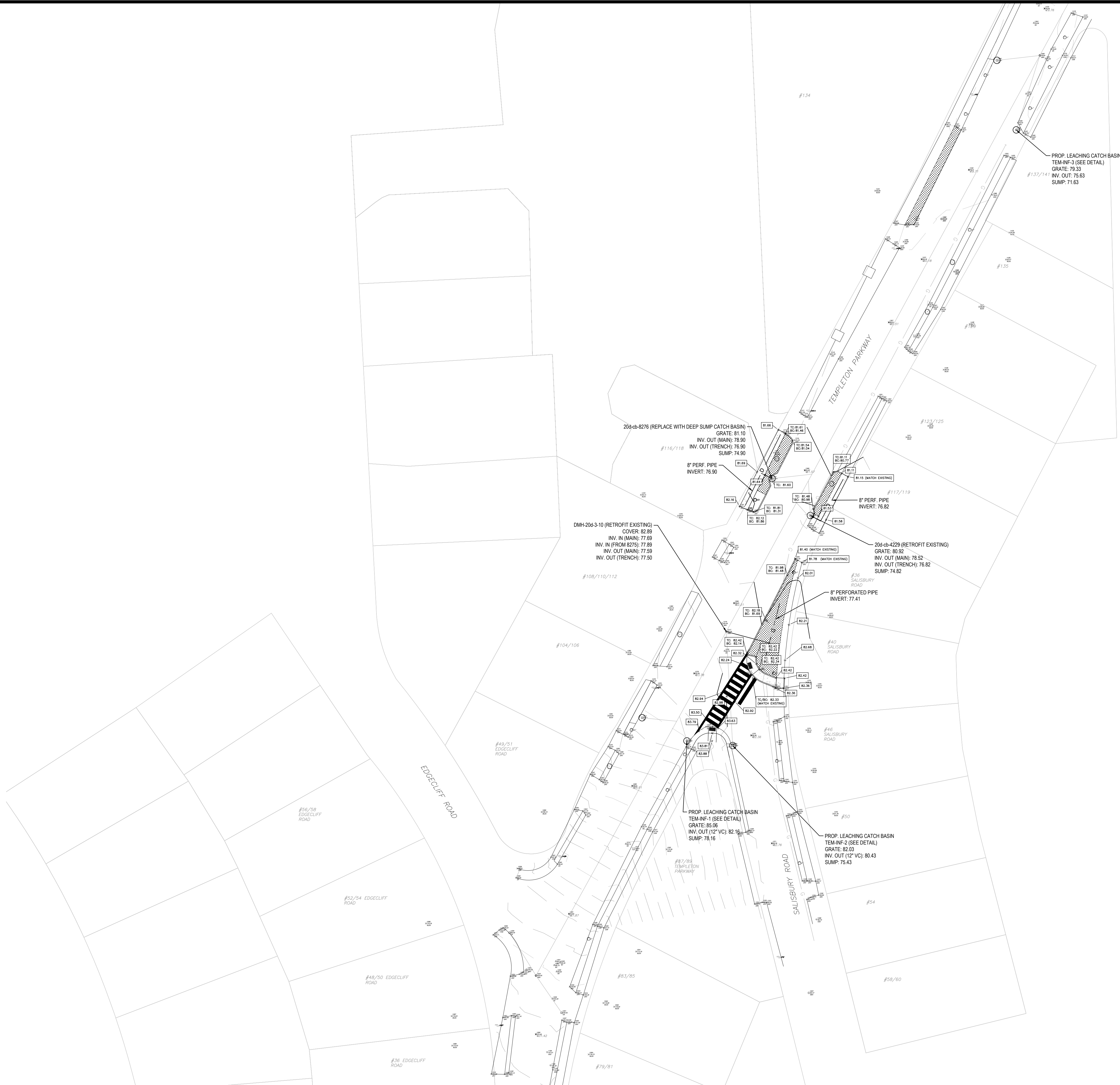
GRADING/
DRAINAGE PLAN -
FRANCIS STREET

Sheet Number:

C201

LINE LEGEND	
	PROPERTY LINE
	EDGE OF PAVEMENT
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	MINOR CONTOUR (EXISTING)
	STORM DRAIN (EXISTING)
	GAS MAIN (EXISTING)
	MAJOR CONTOUR (PROPOSED)
	MINOR CONTOUR (PROPOSED)
	STORM DRAIN (PROPOSED)
	PROPOSED CURB
	PROPOSED PLANTING AREA
	PROPOSED CONCRETE SIDEWALK

LEGEND	
	GAS SERVICE BOX
	GAS VALVE
	WATER CURB STOP
	WATER VALVE
	FIRE HYDRANT
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	UTILITY POLE
	TREE (EXISTING)
	SURFACE ELEVATION (EXISTING)
	SURFACE ELEVATION (PROPOSED)
	TREE (PROPOSED)



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Date:

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Approved By:

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W&S File No:

Drawing Title:

GRADING/
DRAINAGE PLAN -
TEMPLETON
PARKWAY

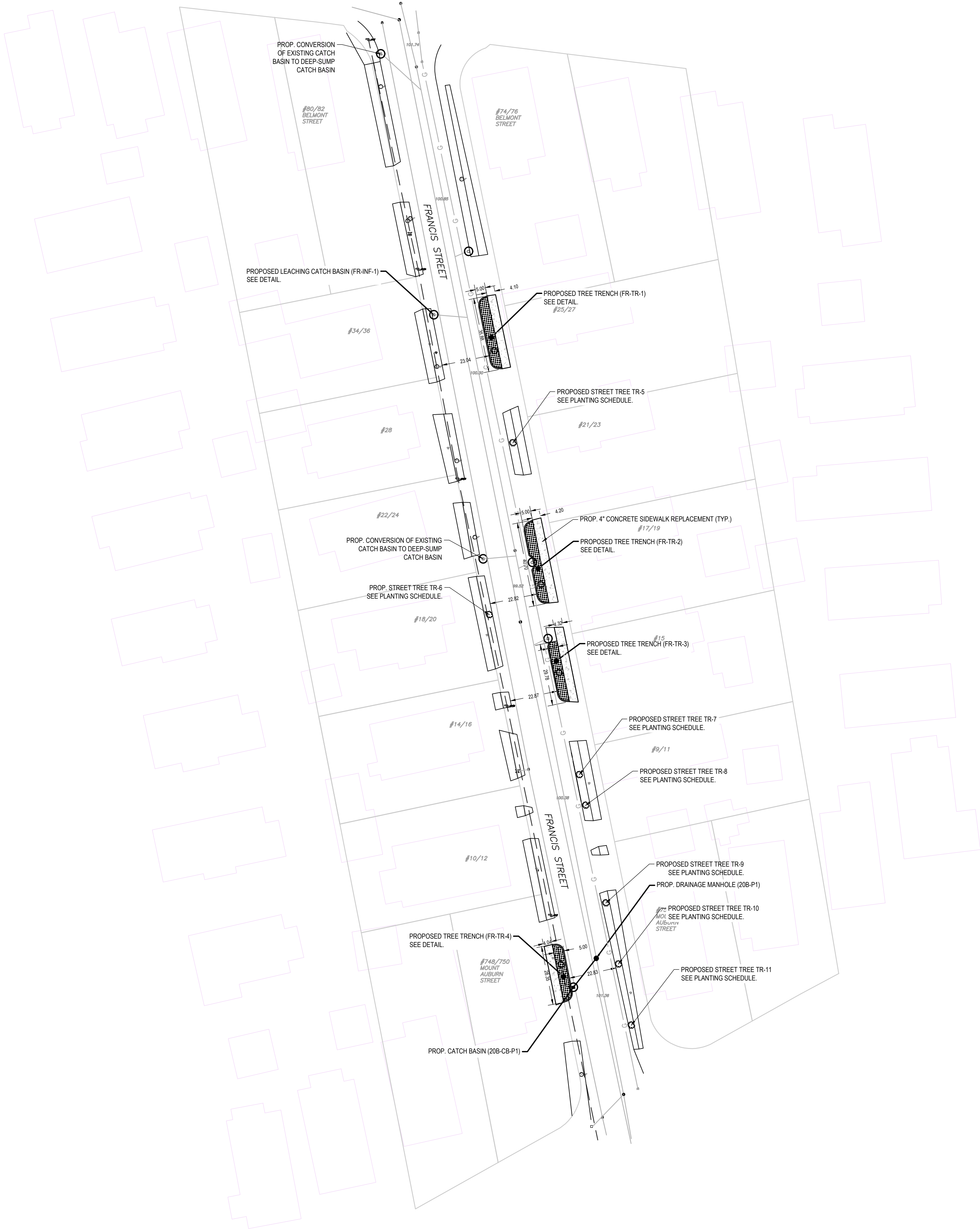
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LINE LEGEND	
	PROPERTY LINE
	EDGE OF PAVEMENT
	STORM DRAIN (EXISTING)
	GAS MAIN (EXISTING)
	PROPOSED CURB
	PROPOSED PLANTING AREA
	PROPOSED CONCRETE SIDEWALK

LEGEND	
	GAS SERVICE BOX
	GAS VALVE
	WATER CURB STOP
	WATER VALVE
	FIRE HYDRANT
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	UTILITY POLE
	TREE (EXISTING)
	SURFACE ELEVATION (EXISTING)
	TREE (PROPOSED)
	ADA CURB RAMP



Project:
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W&S File No:

Drawing Title:

MATERIALS PLAN -
FRANCIS STREET

Sheet Number:

C301

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LEGEND

•

GAS SERVICE BOX

•

GAS VALVE

•

WATER CURB STOP

•

WATER VALVE

•

FIRE HYDRANT

□

CATCH BASIN

•

DRAIN MANHOLE

•

SEWER MANHOLE

•

UTILITY POLE

○

TREE (EXISTING)

101.74

SURFACE ELEVATION (EXISTING)

○

TREE (PROPOSED)

■

ADA CURB RAMP

LINE LEGEND

PROPERTY LINE

EDGE OF PAVEMENT

STORM DRAIN (EXISTING)

GAS MAIN (EXISTING)

PROPOSED CURB

PROPOSED PLANTING AREA

PROPOSED CONCRETE SIDEWALK



Project:

CITY OF WATERTOWN, MA



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WATERTOWN, MA

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PHONE: 978.532.1900

PROJECT ADDRESS: DEXTER AVE.
FRANCIS ST. TEMPLETON PKWY.
SEE PLANS FOR PROJECT LIMITS.

ASSESSORS MAP AND LOT NUMBER:
MULTIPLE, SEE PLANS

PROPOSED LAND USE:

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APARTMENT - LOW DENSITY (R.75).

Revisions:

No.	Date	Description
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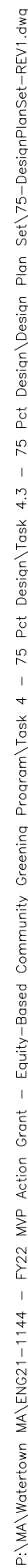
W&S File No:

Drawing Title:

MATERIALS PLAN -
TEMPLETON
PARKWAY

Sheet Number:

C302



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- LEGEND
- * GAS SERVICE BOX
 - * GAS VALVE
 - * WATER CURB STOP
 - * WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ CATCH BASIN
 - ⊕ DRAIN MANHOLE
 - ⊕ SEWER MANHOLE
 - ⊕ UTILITY POLE
 - TREE (EXISTING)
 - TREE (PROPOSED)
 - ADA CURB RAMP

- LINE LEGEND
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - PROPOSED CURB
 - ▨ PROPOSED PLANTING AREA
 - ▨ PROPOSED CONCRETE SIDEWALK

FRANCIS STREET PLANTING SCHEDULE				
TREE ID	KEY	BOTANIC NAME	COMMON NAME	REMARKS
TREES				
TR-5	AC	AMELANCHIER LAEVIS VUMILUIP	ALLEGHENY SERVICEBERRY	2'-2.5' CAL. B+B, SINGLE-STEM
TR-6	CC	CERCIS CANADENSIS	REDBUD	2'-2.5' CAL. B+B
TR-7	MS	MALLUS SPRING SNOW	ORABAPPLE	2'-2.5' CAL. B+B
TR-8	MZ	MALLUS X ZUM VARI CALOCARPA	ORABAPPLE	2'-2.5' CAL. B+B
TR-9	SB	SYRINGA RETICULATA VIOREY ELK	JAPANESE LILAC TREE	2'-2.5' CAL. B+B
TR-10	CC	CERCIS CANADENSIS	REDBUD	2'-2.5' CAL. B+B
TR-11	AC	AMELANCHIER LAEVIS VUMILUIP	ALLEGHENY SERVICEBERRY	2'-2.5' CAL. B+B, SINGLE-STEM
FR-TR-1	MZ	MALLUS X ZUM VARI CALOCARPA	ORABAPPLE	2'-2.5' CAL. B+B
FR-TR-2	SB	SYRINGA RETICULATA VIOREY ELK	JAPANESE LILAC TREE	2'-2.5' CAL. B+B
FR-TR-3	MS	MALLUS SPRING SNOW	ORABAPPLE	2'-2.5' CAL. B+B
FR-TR-4	CC	CERCIS CANADENSIS	REDBUD	2'-2.5' CAL. B+B
GROUND COVER			NEW ENGLAND NATIVE WARM SEASON GRASS MIX SOWED NEW ENGLAND WETLAND PLANTS SEE DETAIL SHEET	
			900 SF	



Project:
CITY OF WATERTOWN, MA



EQUITY-BASED
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WATERTOWN, MA 02472
PHONE: 617.972.6486

APPLICANT: SAME AS OWNER

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ENGINEERS INC.
ADDRESS: 55 WALKERS BROOK DR.
SUITE 100, READING, MA 01867
PHONE: 978.532.1900

PROJECT ADDRESS: DEXTER AVE,
FRANCIS ST. TEMPLETON PKWY.
SEE PLANS FOR PROJECT LIMITS.

ASSESSORS MAP AND LOT NUMBER:
MULTIPLE, SEE PLANS

PROPOSED LAND USE:
SAME AS EXISTING, TWO FAMILY (T),
APARTMENT - LOW DENSITY (R.75).

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W&S File No:

Drawing Title:

LANDSCAPE PLAN -
FRANCIS STREET

Sheet Number:

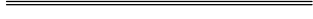
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TEMPLETON PARKWAY SHRUB & GROUNDCOVER PLANTING SCHEDULE					
SYMBOL	KEY	BOTANIC NAME	COMMON NAME	QUANTITY	SIZE
SHRUBS					
	AM2	ARONIA MELANOCARPA LOW SCAPE MOUND	BLACK CHOKEBERRY	13	18" - 24"
	CA4	CLETHRA ALNIFOLIA HUMMINGBIRD	SWEET PEPPERBUSH	24	18" - 24"
	CS	CORNUS SERICEA 'KELSEY'	REDTWIG DOGWOOD	25	18" - 24"
	VD	VBURNUM DENTATUM BLUE MUFFIN	ARROWWOOD VBURNUM	15	24" - 30"
GROUNDCOVER					
		NEW ENGLAND NATIVE WARM SEASON GRASS MIX SOURCE: NEW ENGLAND WETLAND PLANTS		700 SF	

TEMPLETON PARKWAY TREE PLANTING SCHEDULE					
TREE ID	KEY	BOTANIC NAME	COMMON NAME	SIZE	REMARKS
TREES					
TR-1	AC	AMELANCHIER LAEVIS 'GLACIALUS'	ALLEGHENY SERVICEBERRY	2" - 2.5" CAL	B&B, SINGLE-STEM
TR-2	CC	CERCIS CANADENSIS	REDBUD	2" - 2.5" CAL	B&B
TR-3	MS	MAULUS SPENSIS SNOW	CRABAPPLE	2" - 2.5" CAL	B&B
TR-4	ME	MAULUS 3.00M VAR. CALOCARPA	CRABAPPLE	2" - 2.5" CAL	B&B
TEM-TR-1	BR	BYRNINGA RETICULATA 'TORY SILK'	JAPANESE LILAC TREE	2" - 2.5" CAL	B&B
TEM-TR-2	CC	CERCIS CANADENSIS	REDBUD	2" - 2.5" CAL	B&B

LEGEND	
	GAS SERVICE BOX
	GAS VALVE
	WATER CURB STOP
	WATER VALVE
	FIRE HYDRANT
	CATCH BASIN
	DRAIN MANHOLE
	SEWER MANHOLE
	UTILITY POLE
	TREE (EXISTING)
	TREE (PROPOSED)
	ADA CURB RAMP

LINE LEGEND	
	PROPERTY LINE
	EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED PLANTING AREA
	PROPOSED CONCRETE SIDEWALK



Project:
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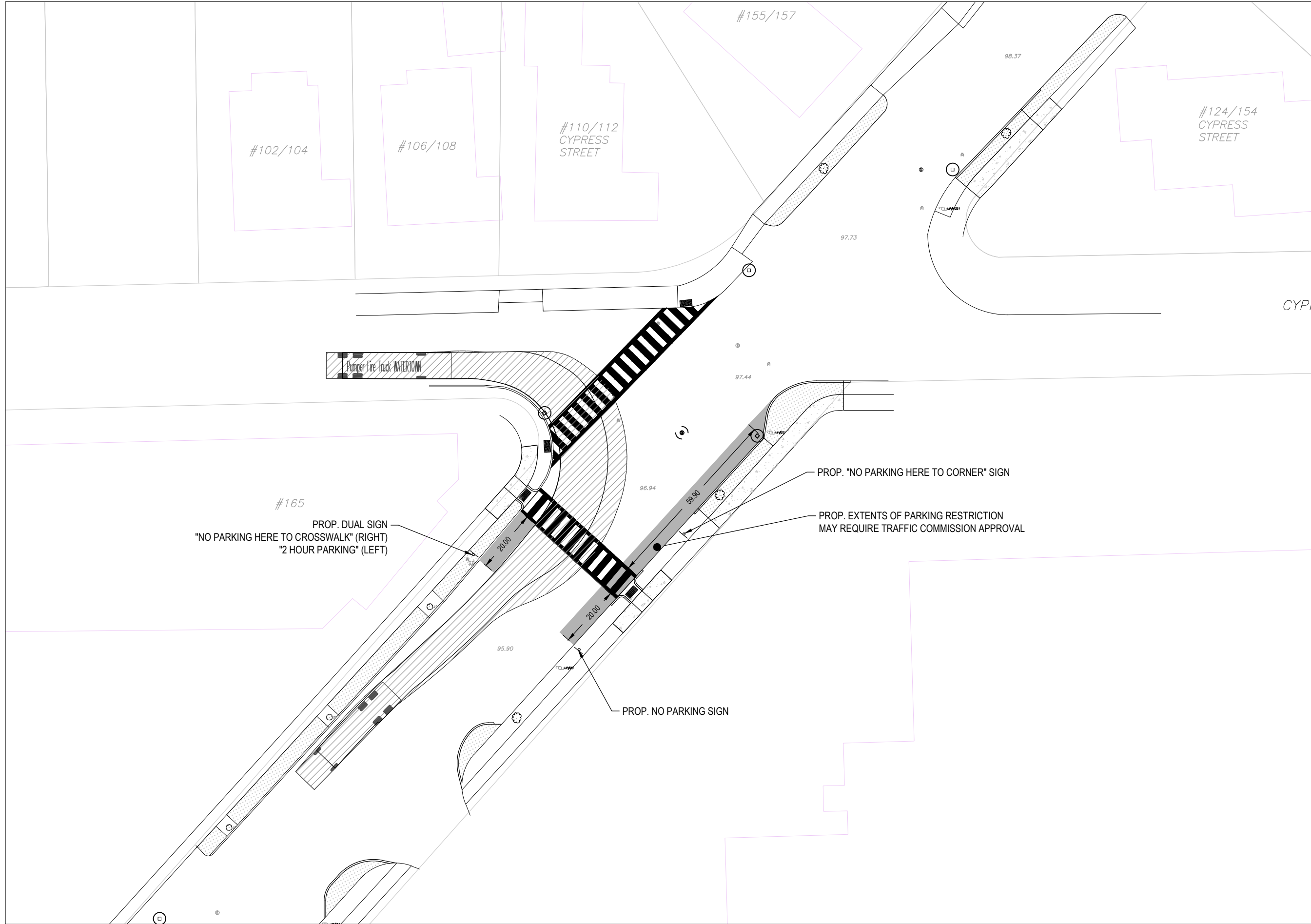
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LANDSCAPE PLAN -
TEMPLETON
PARKWAY

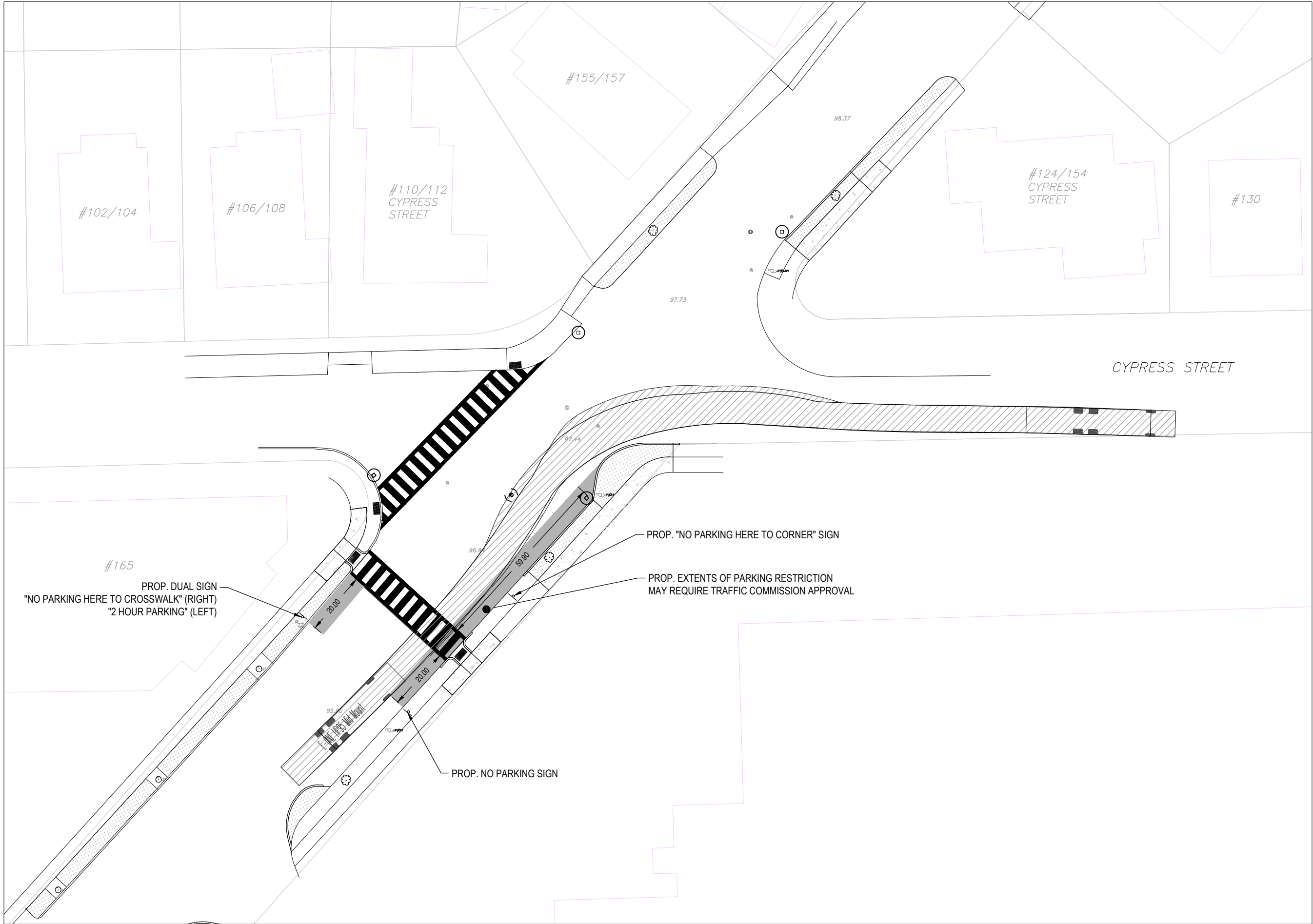
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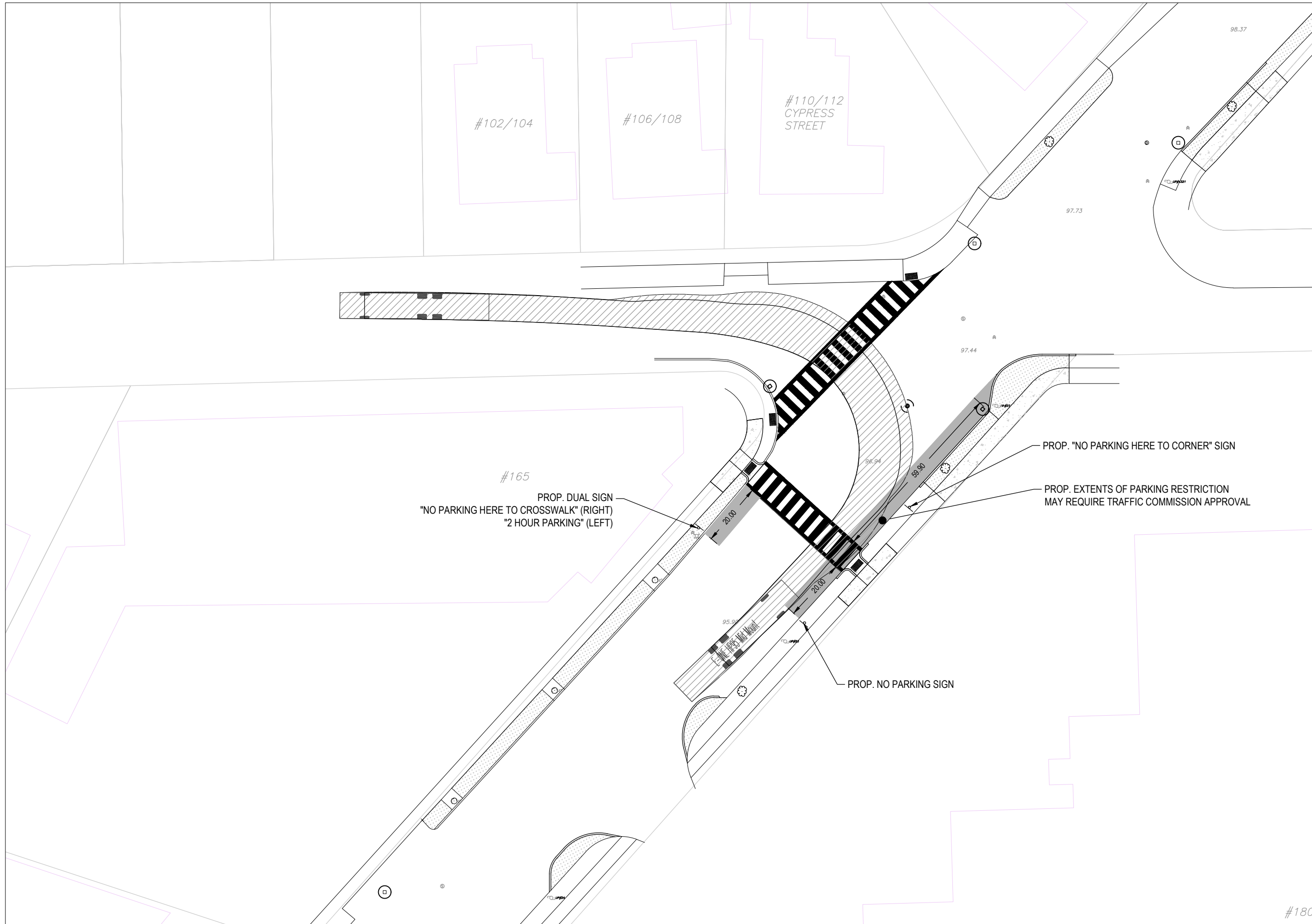
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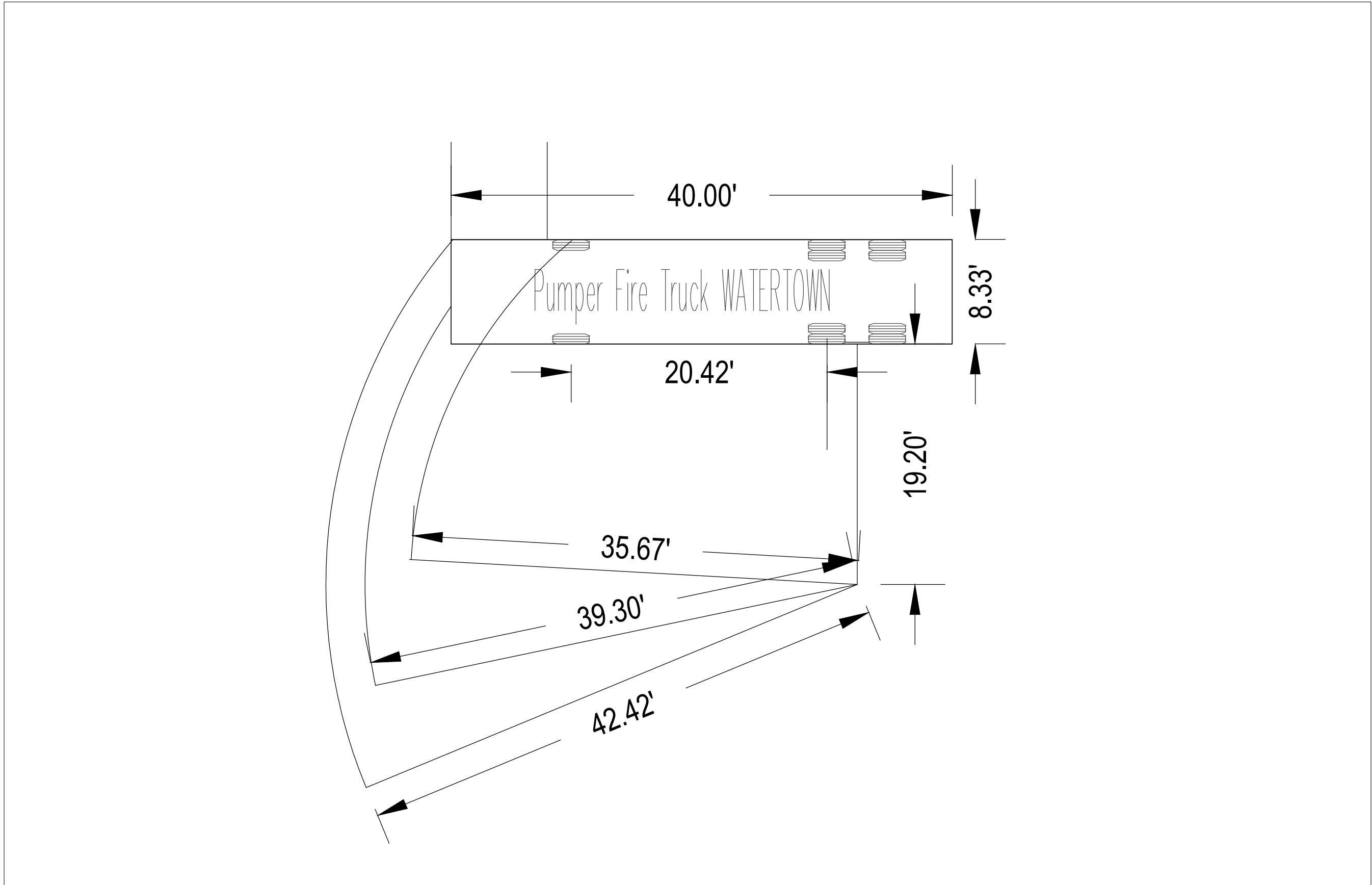
RIGHT-HAND TURN FROM CYPRESS STREET TO DEXTER AVE



RIGHT-HAND TURN FROM DEXTER AVE TO CYPRESS STREET



LEFT-HAND TURN FROM DEXTER AVE TO CYPRESS STREET



TOWER TRUCK DIMENSIONS AND TURNING RADII PROVIDED BY WATERTOWN FIRE DEPARTMENT (NTS)

Project:
CITY OF WATERTOWN, MA



EQUITY-BASED
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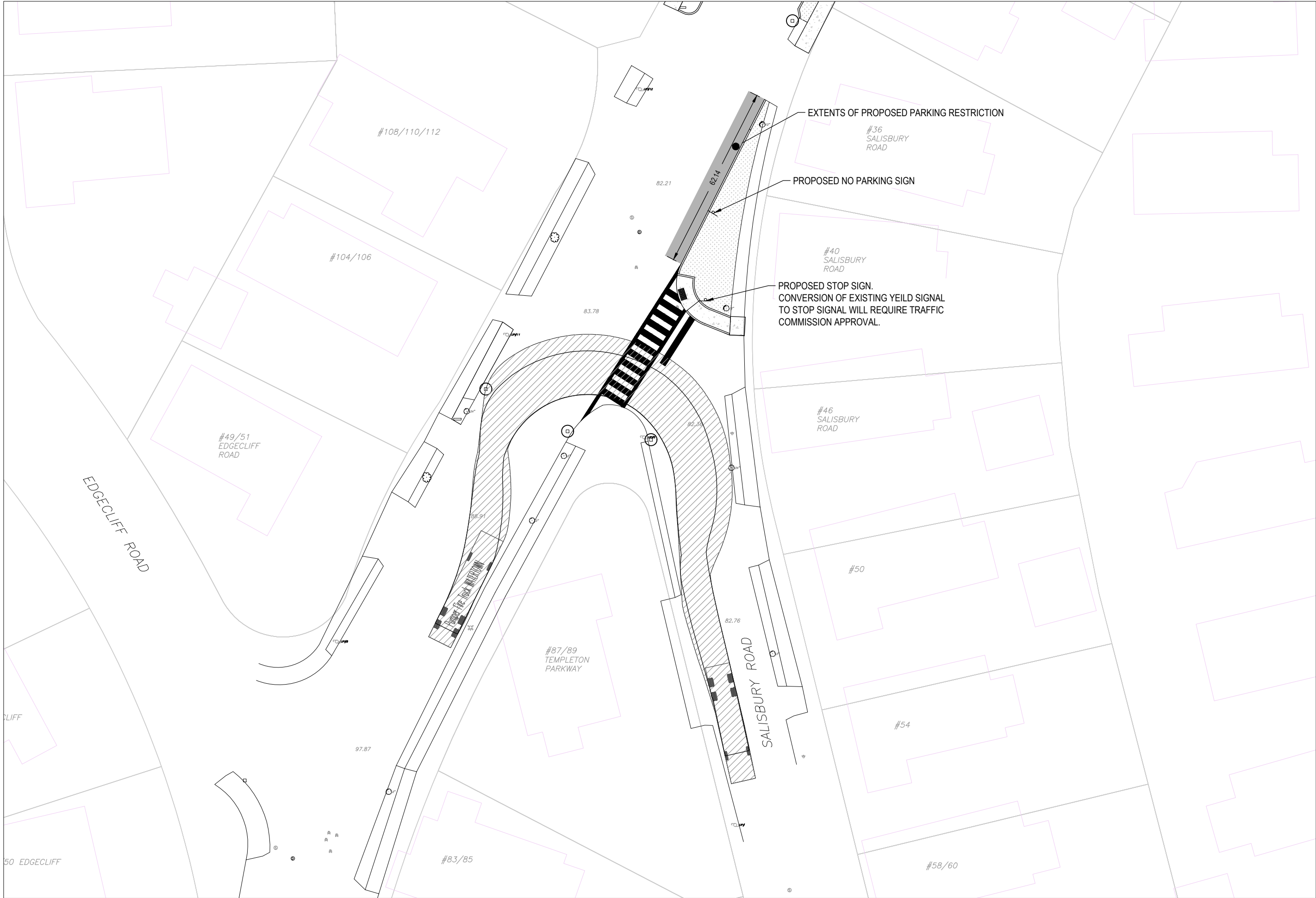
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TRUCK TURNING
PLAN - DEXTER
AVE

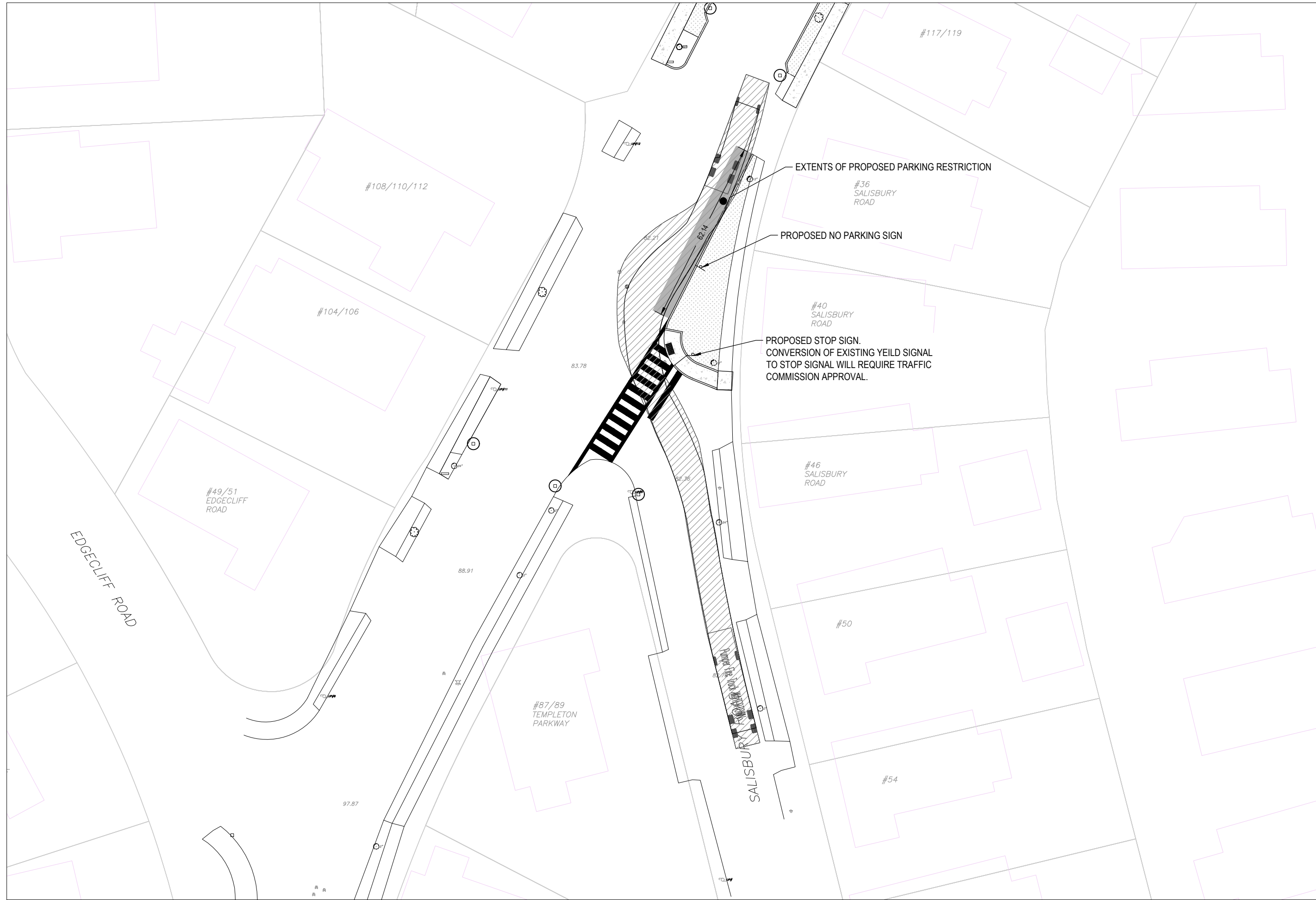
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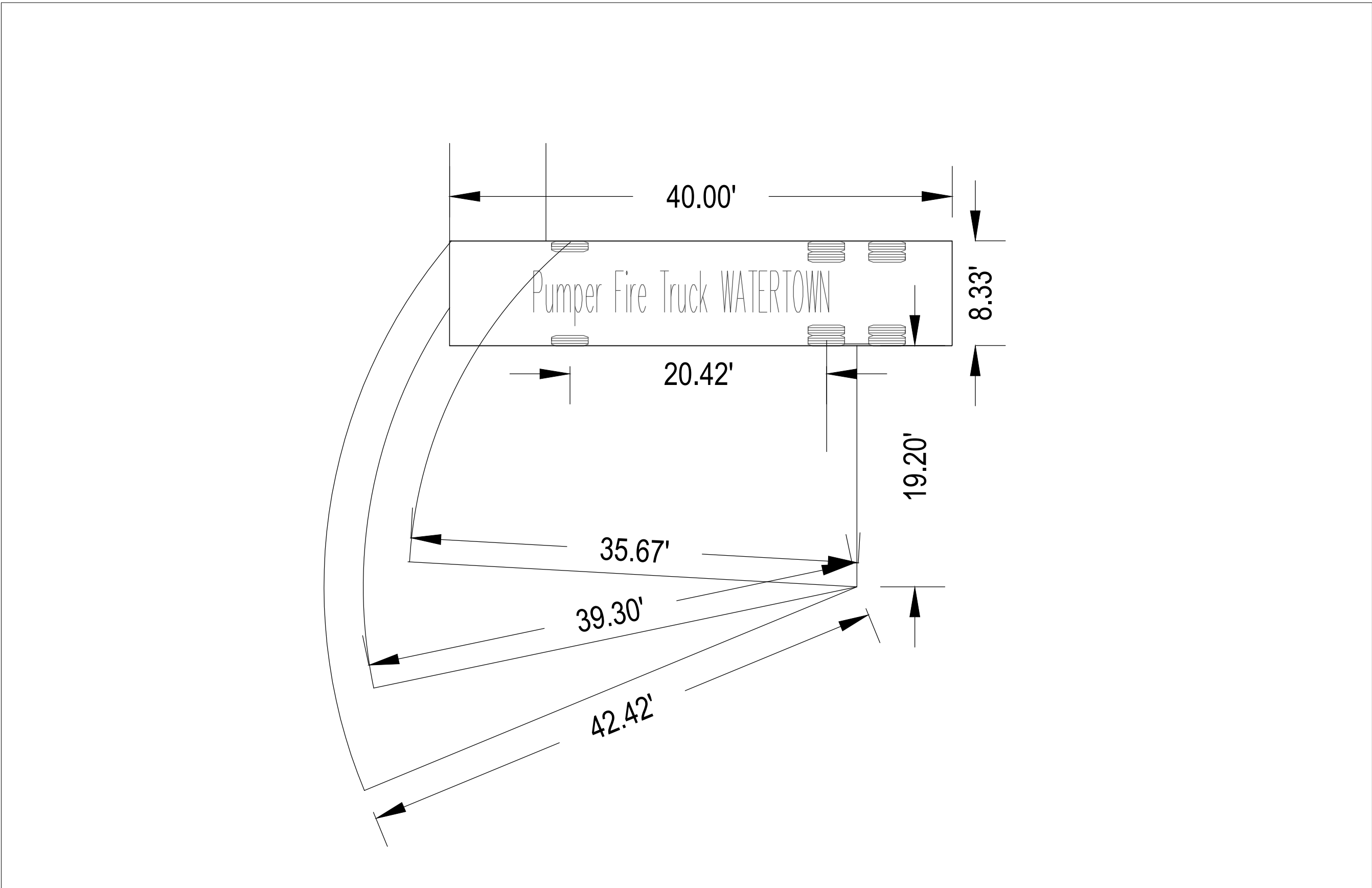
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RIGHT-HAND TURN FROM TEMPLETON PARKWAY TO SALISBURY ROAD



RIGHT-HAND TURN FROM SALISBURY STREET TO TEMPLETON PARKWAY



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Approved By:

W&S Project No:

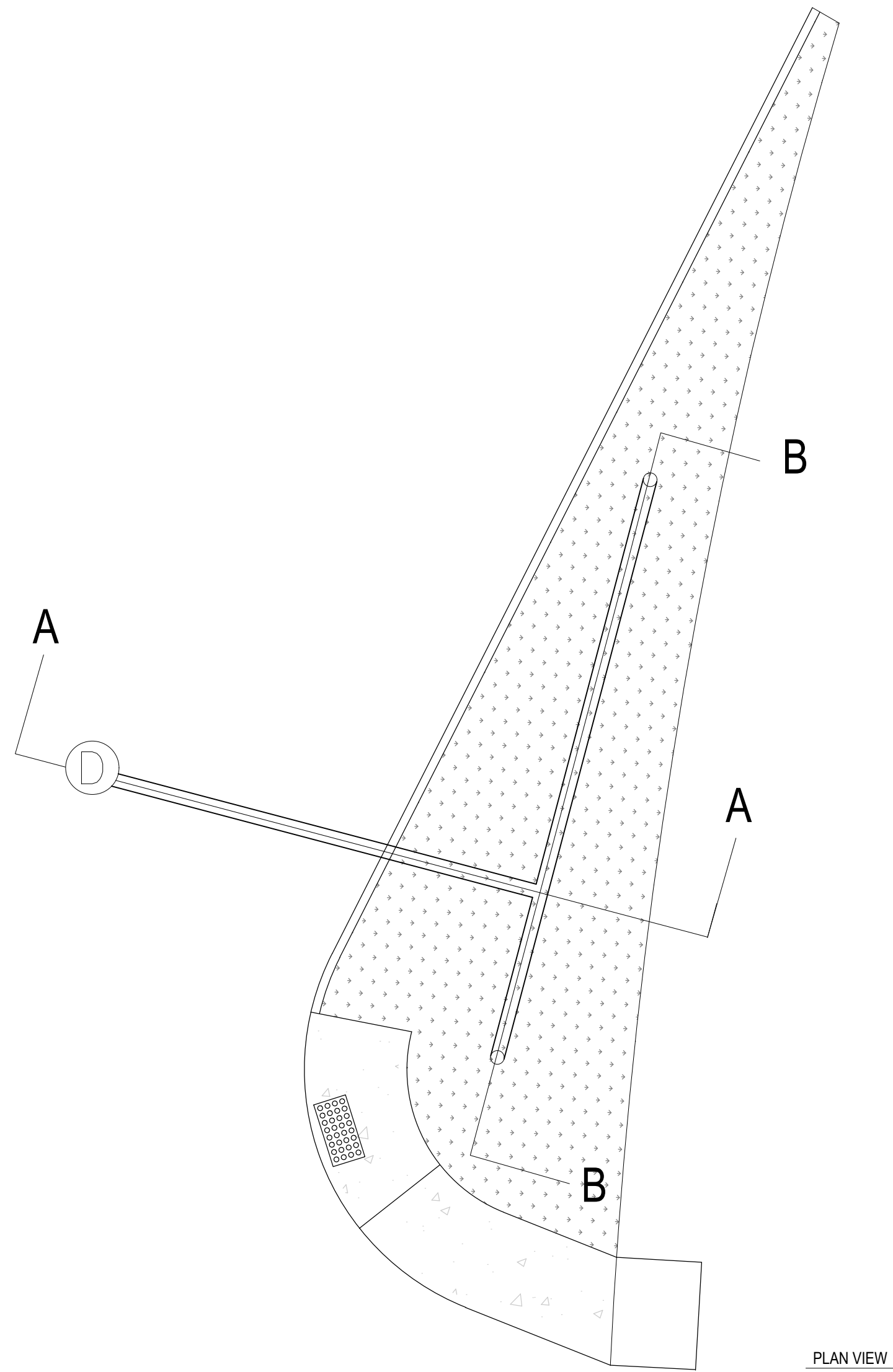
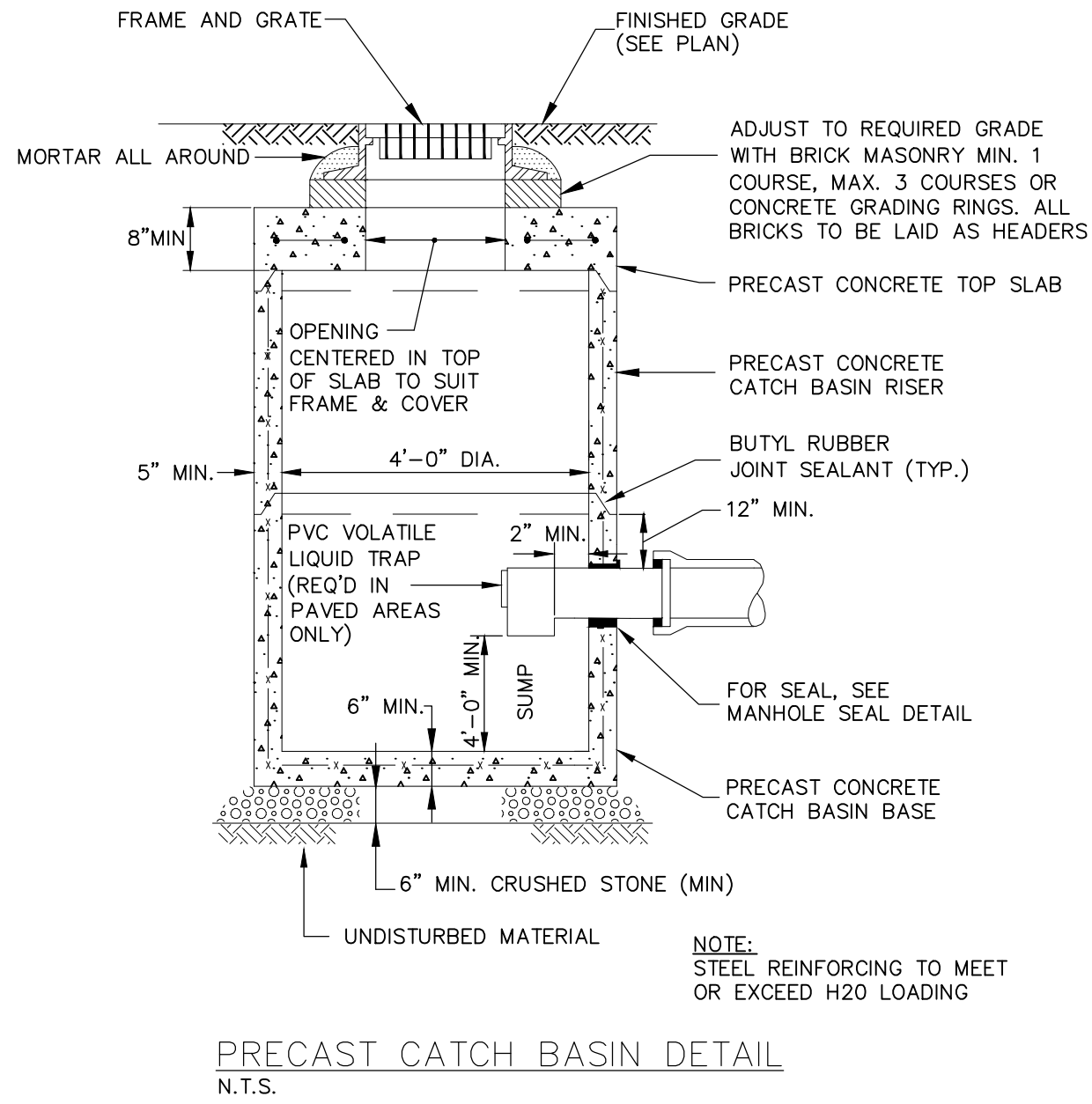
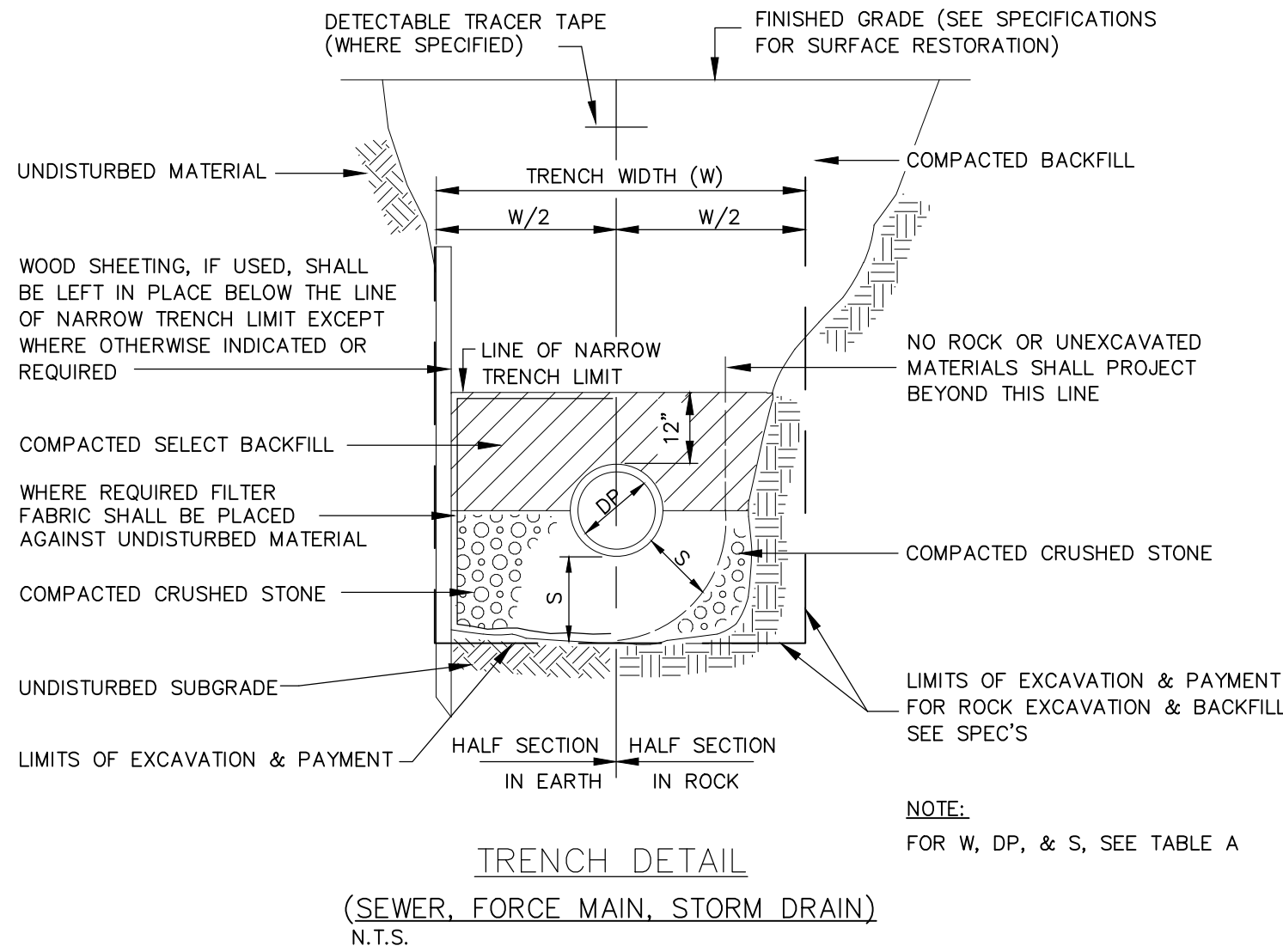
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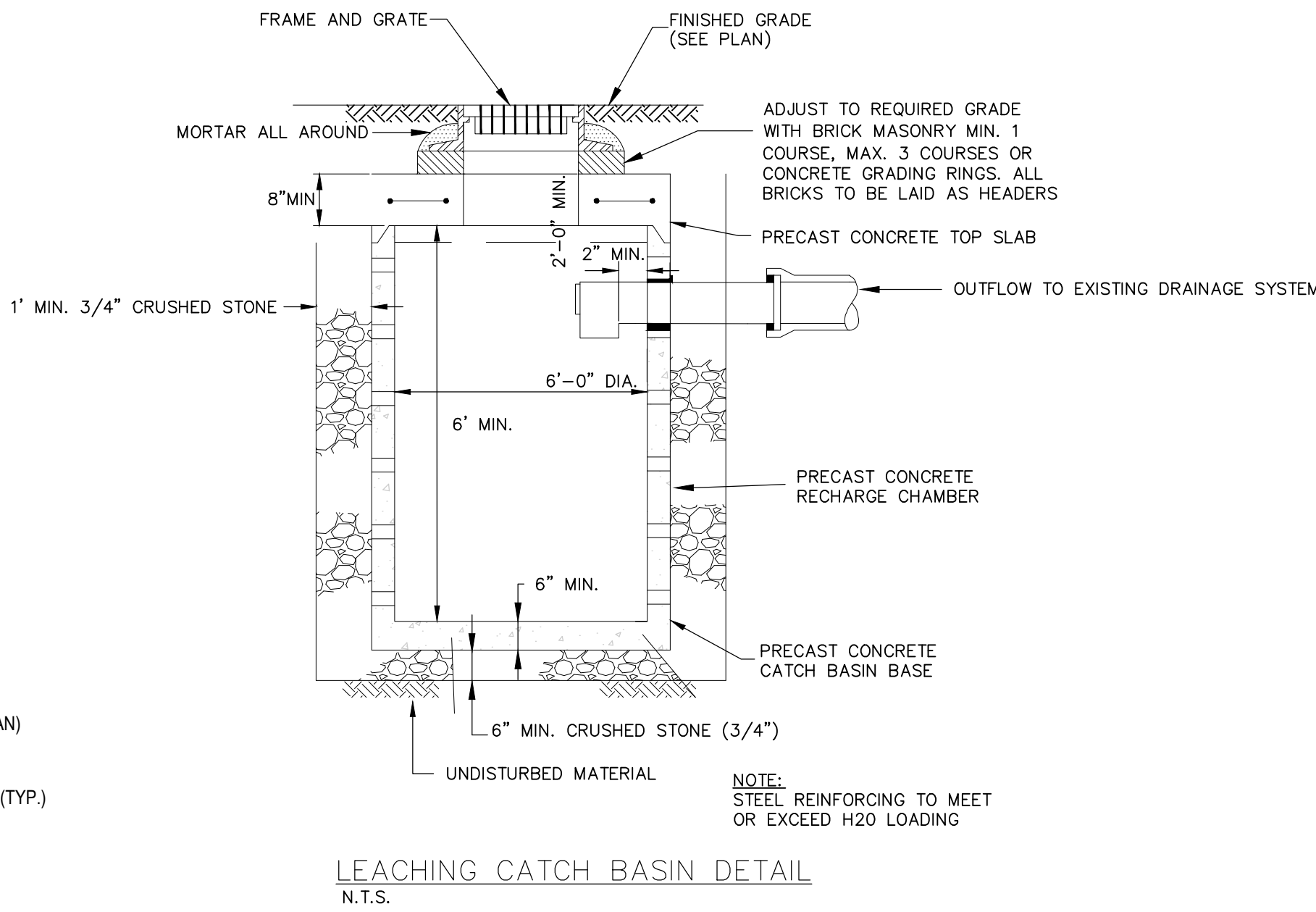
TRAFFIC AND
TRUCK TURNING
PLAN -
TEMPLETON
PARKWAY

Sheet Number:

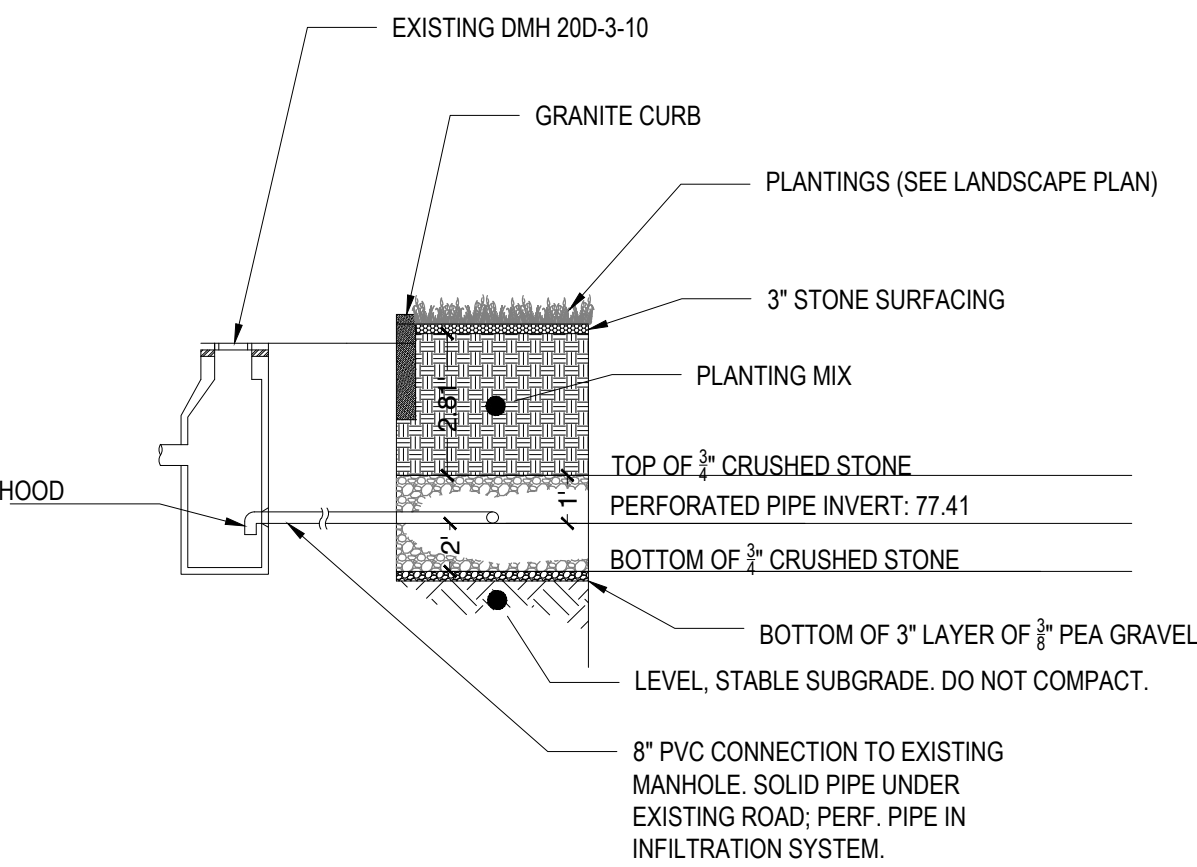
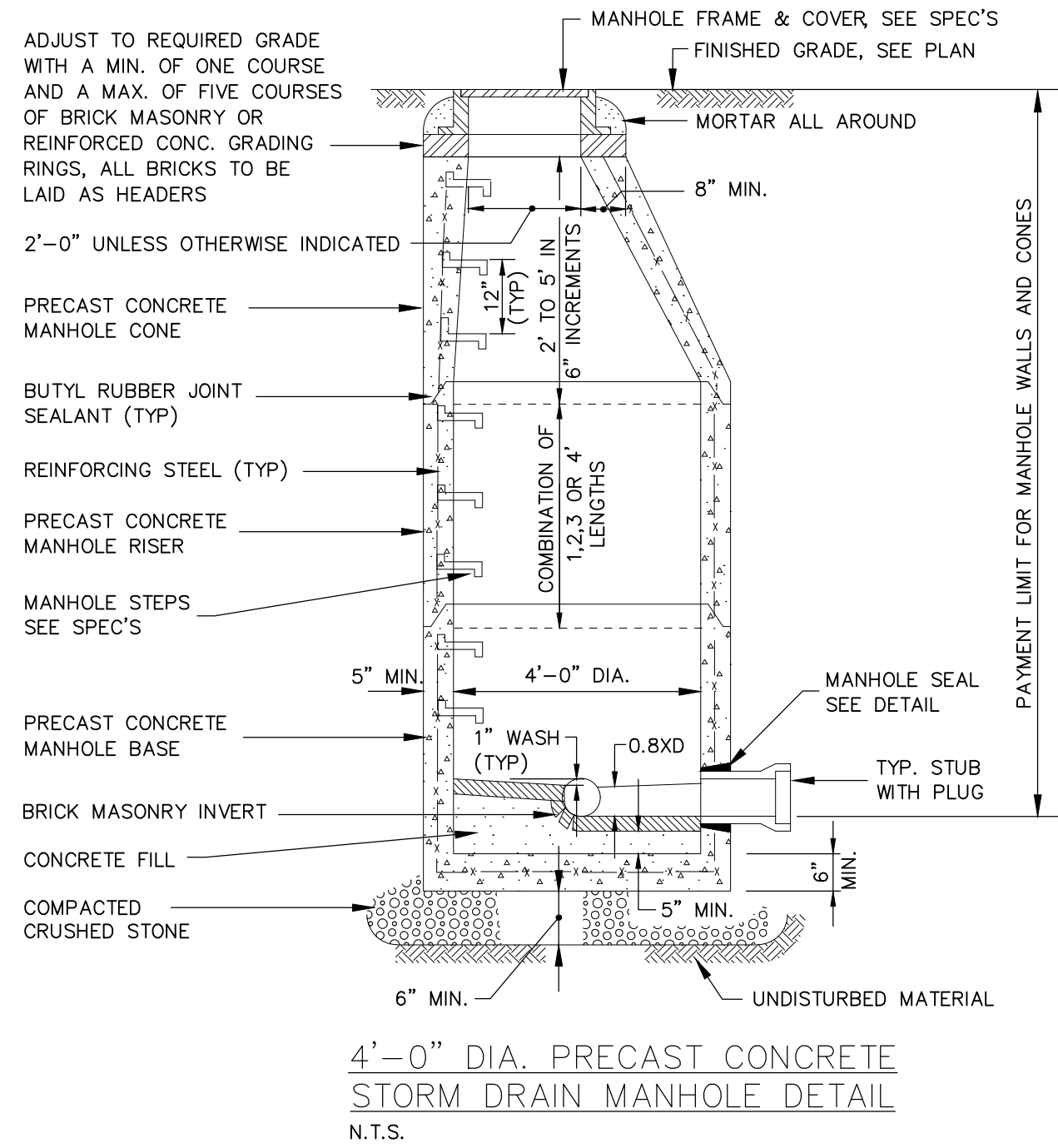
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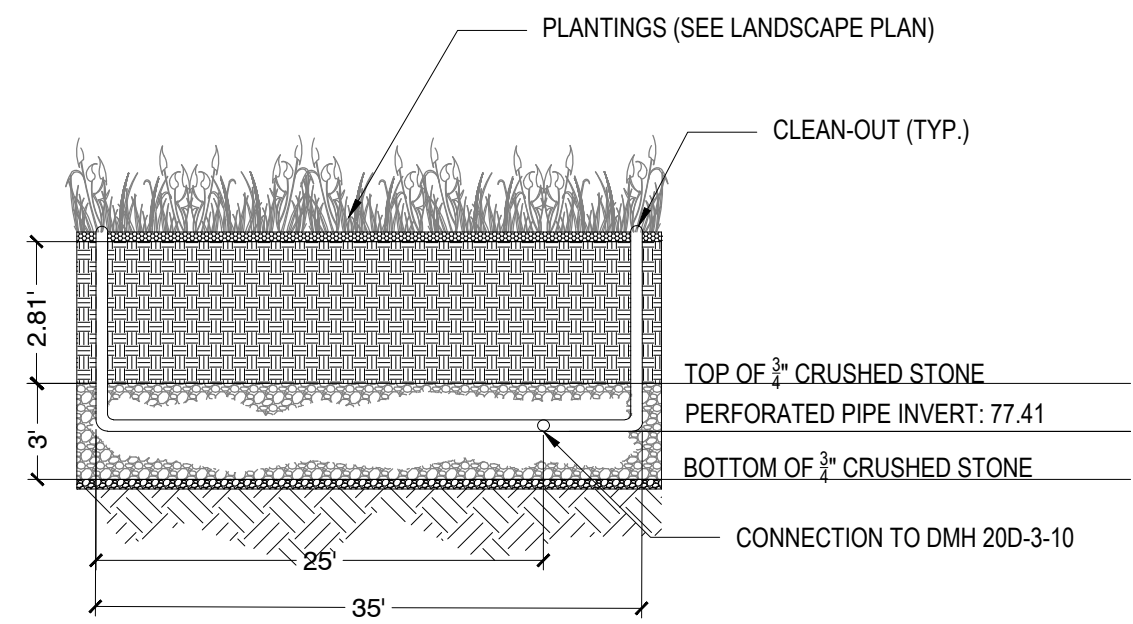
PLAN VIEW



LEACHING CATCH BASIN DETAIL N.T.S.



SECTION A-A



SECTION B-B



Revisions:		
No.	Date	Description
1	8/30/2022	75% DESIGN DRAWINGS

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75% DESIGN
SUBMITTAL - NOT FOR
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Scale:

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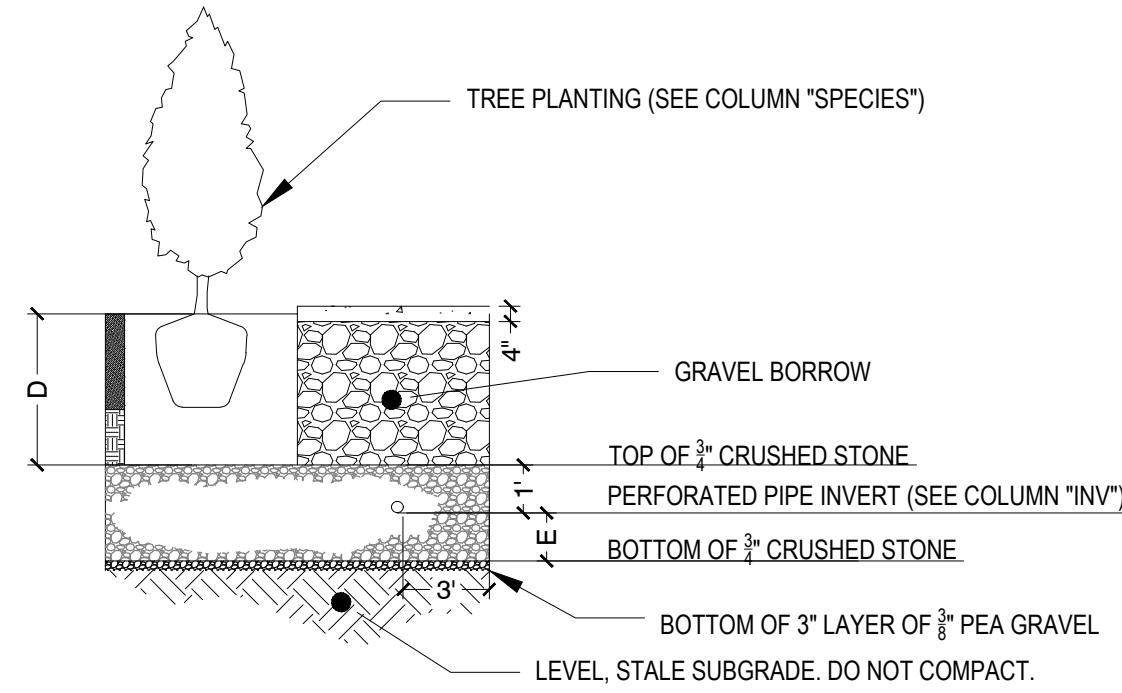
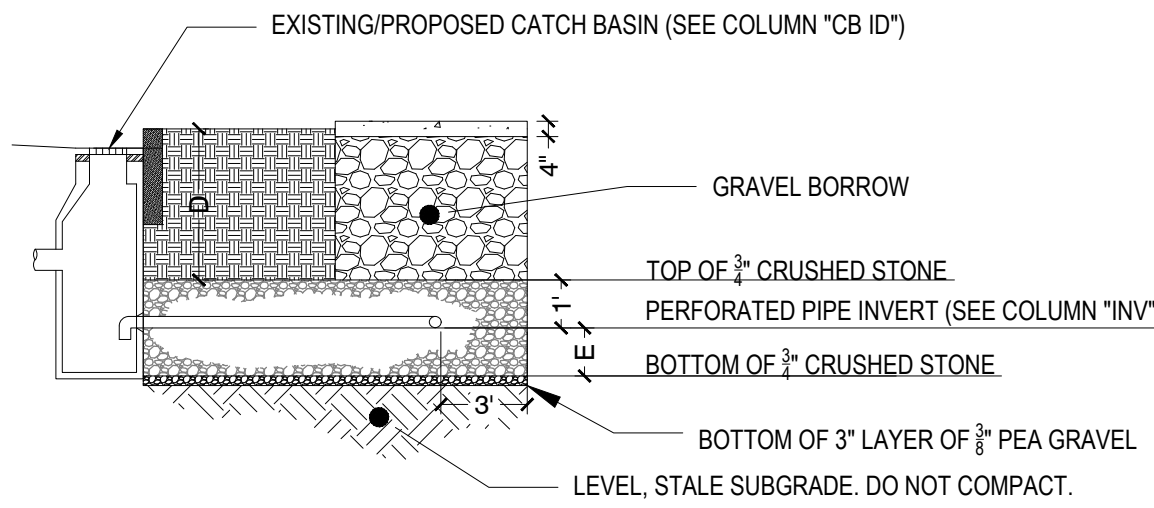
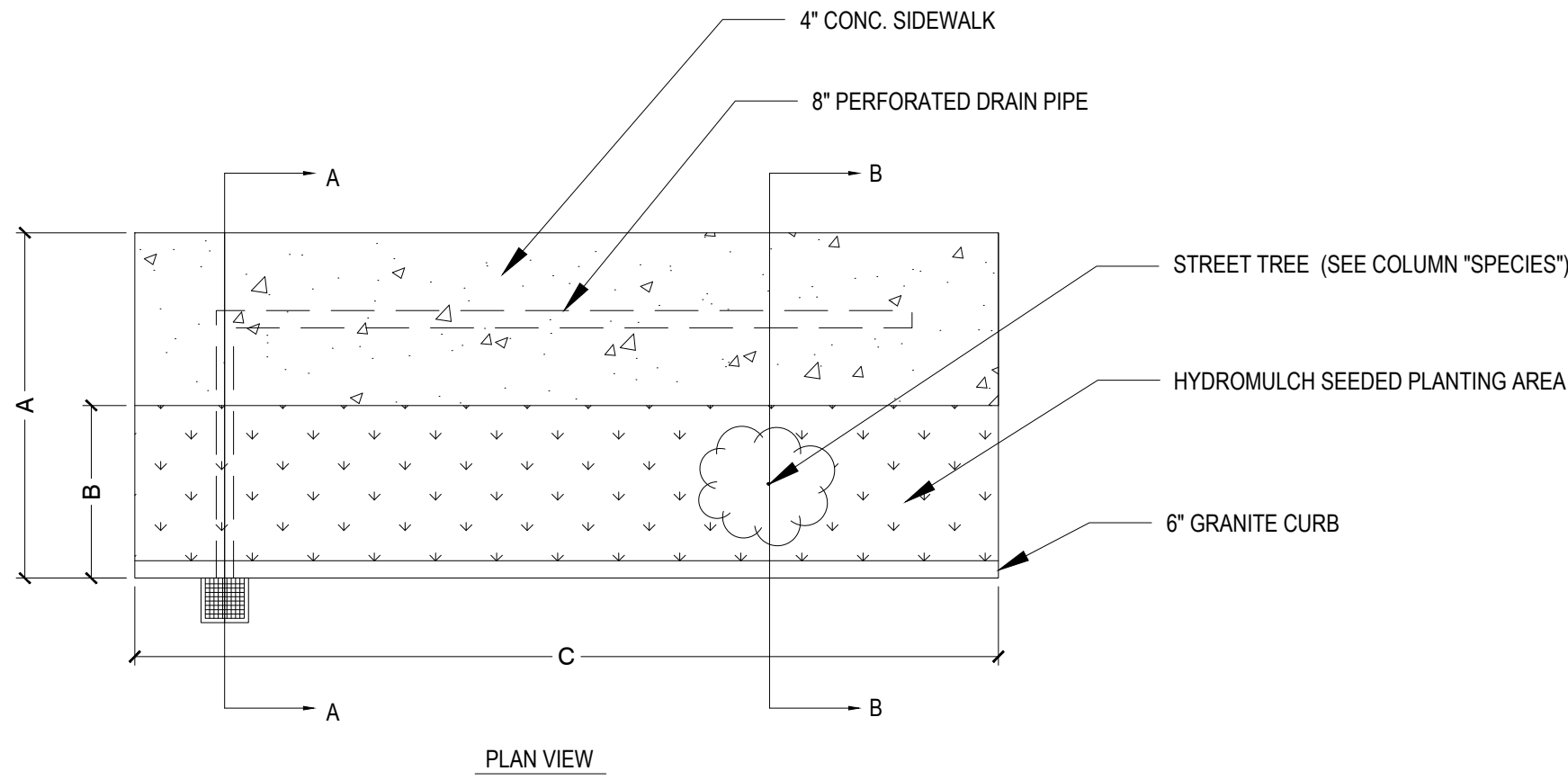
CONSTRUCTION
DETAILS

Sheet Number:

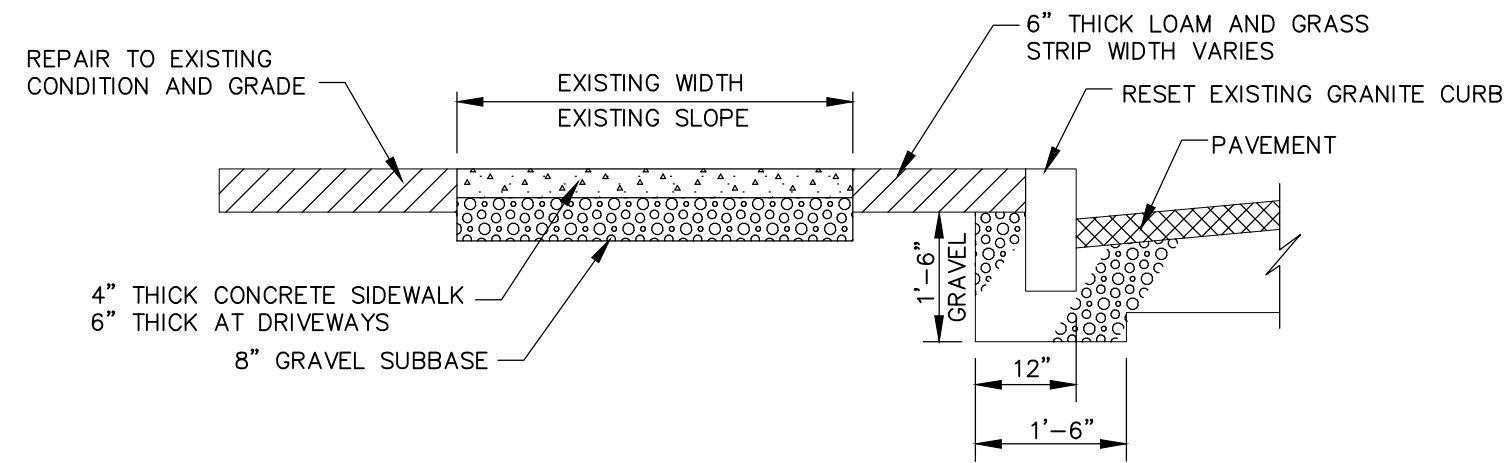
C500

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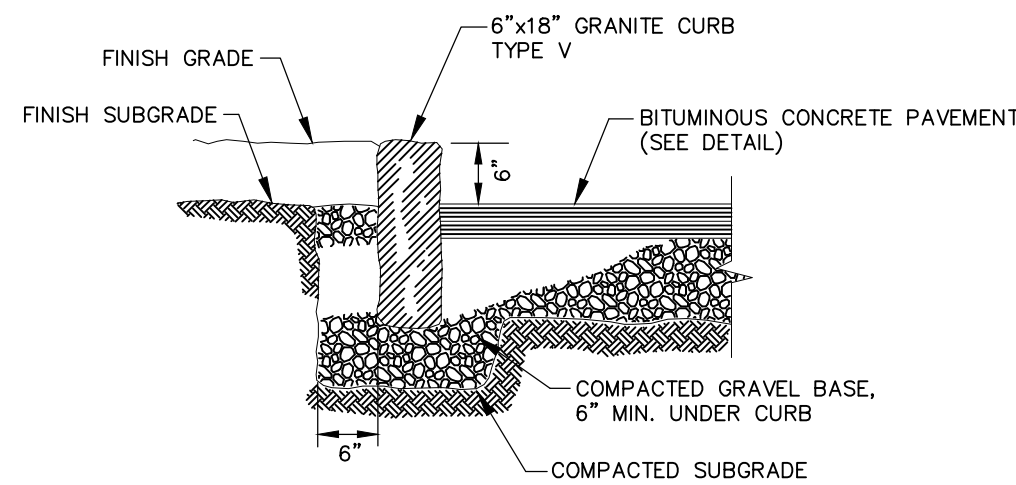
6 TREE TRENCH
SCALE: N.T.S.



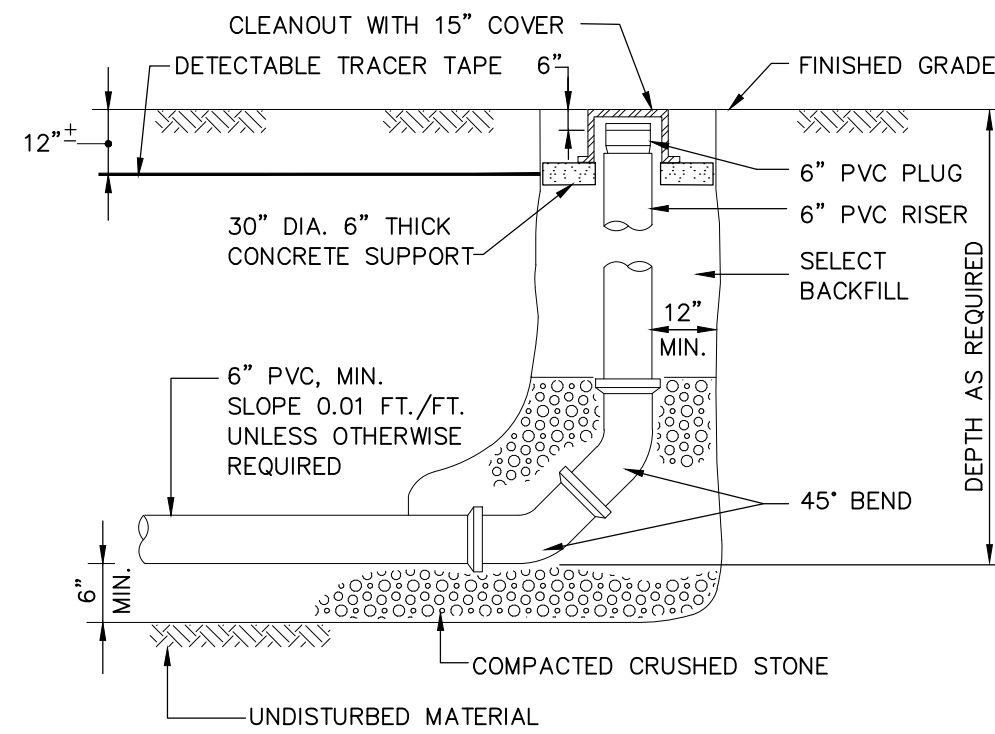
TREE TRENCH ID	CATCH BASIN ID	INVERT	SPECIES	A: TOTAL TRENCH WIDTH	B: PLANTING BED WIDTH	C: TRENCH LENGTH	D: PLANTING MEDIA DEPTH	E: DEPTH OF CRUSHED STONE BELOW INVERT
DEX-TR-1	18-CB-4483	92.2000	JAPANESE LILAC	10.3500	4.1600	39.1300	3.9000	2.0000
DEX-TR-2	18-CB-P1	92.3500	REDBUD	9.3400	4.5300	30.8400	3.5000	2.0000
DEX-TR-3	18-CB-4481	87.9600	CRABAPPLE; REDBUD	9.1900	4.7700	60.0000	4.0000	2.0000
FR-TR-1	20B-CB-4332	95.6400	CRABAPPLE	9.1000	5.0000	36.8800	3.5000	2.0000
FR-TR-2	20B-CB-4330	96.3000	JAPANESE LILAC	9.2000	5.0000	40.7000	2.5000	2.0000
FR-TR-3	20B-CB-4328	95.6600	CRABAPPLE	9.2900	4.9700	29.7800	3.3200	2.0000
FR-TR-4	20B-CB-P1	97.6900	REDBUD	9.0400	5.0000	28.3500	3.0000	2.0000
TEM-TR-1	20D-CB-8276	76.9000	JAPANESE LILAC	11.3500	6.0600	39.0400	3.2000	2.0000
TEM-TR-2	20D-CB-4229	76.8200	REDBUD	10.2900	5.0000	25.8700	3.1000	2.0000



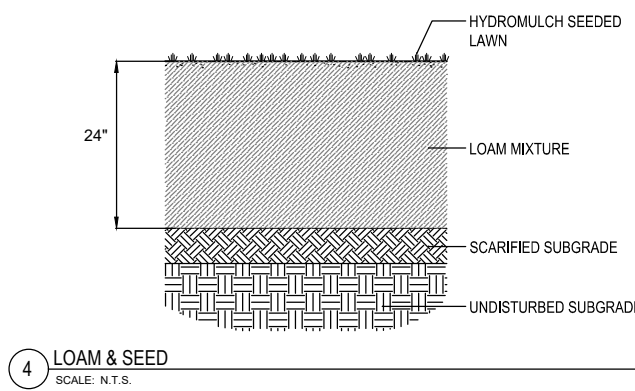
TYPICAL SECTION THROUGH
CONCRETE SIDEWALK
N.T.S.



TYPICAL VERTICAL GRANITE CURB DETAIL
N.T.S.



CLEANOUT DETAIL
N.T.S.



4 LOAM & SEED
SCALE: N.T.S.

Project:
CITY OF WATERTOWN, MA



EQUITY-BASED
COMMUNITY GREENING
PROGRAM
WATERTOWN, MA

Weston & Sampson

55 Walkers Brook Drive, Suite 100,
Reading, MA 01867
978.532.1900 800.SAMPSON
www.westonandsampson.com

OWNER:
NAME: CITY OF WATERTOWN, MA
ADDRESS: 149 MAIN ST.
WATERTOWN, MA 02472
PHONE: 617.972.6486

APPLICANT: SAME AS OWNER

PREPARING FIRM:
NAME: WESTON & SAMPSON
ENGINEERS INC.
ADDRESS: 55 WALKERS BROOK DR.
SUITE 100, READING, MA 01867
PHONE: 978.532.1900

PROJECT ADDRESS: DEXTER AVE,
FRANCIS ST, TEMPLETON PKWY.
SEE PLANS FOR PROJECT LIMITS.

ASSESSORS MAP AND LOT NUMBER:
MULTIPLE, SEE PLANS

PROPOSED LAND USE:
SAME AS EXISTING, TWO FAMILY (T),
APARTMENT - LOW DENSITY (R.75).

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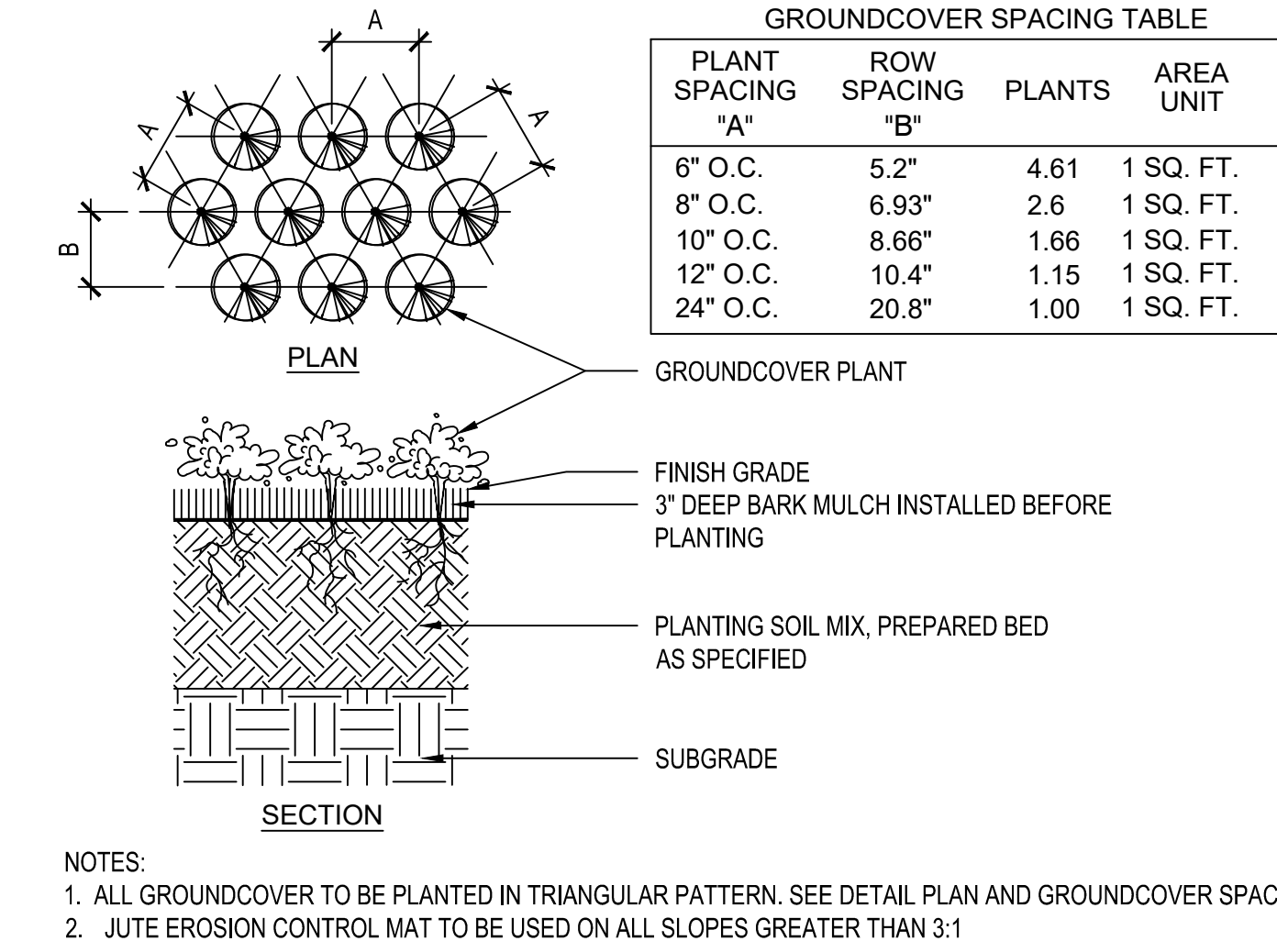
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CONSTRUCTION
DETAILS

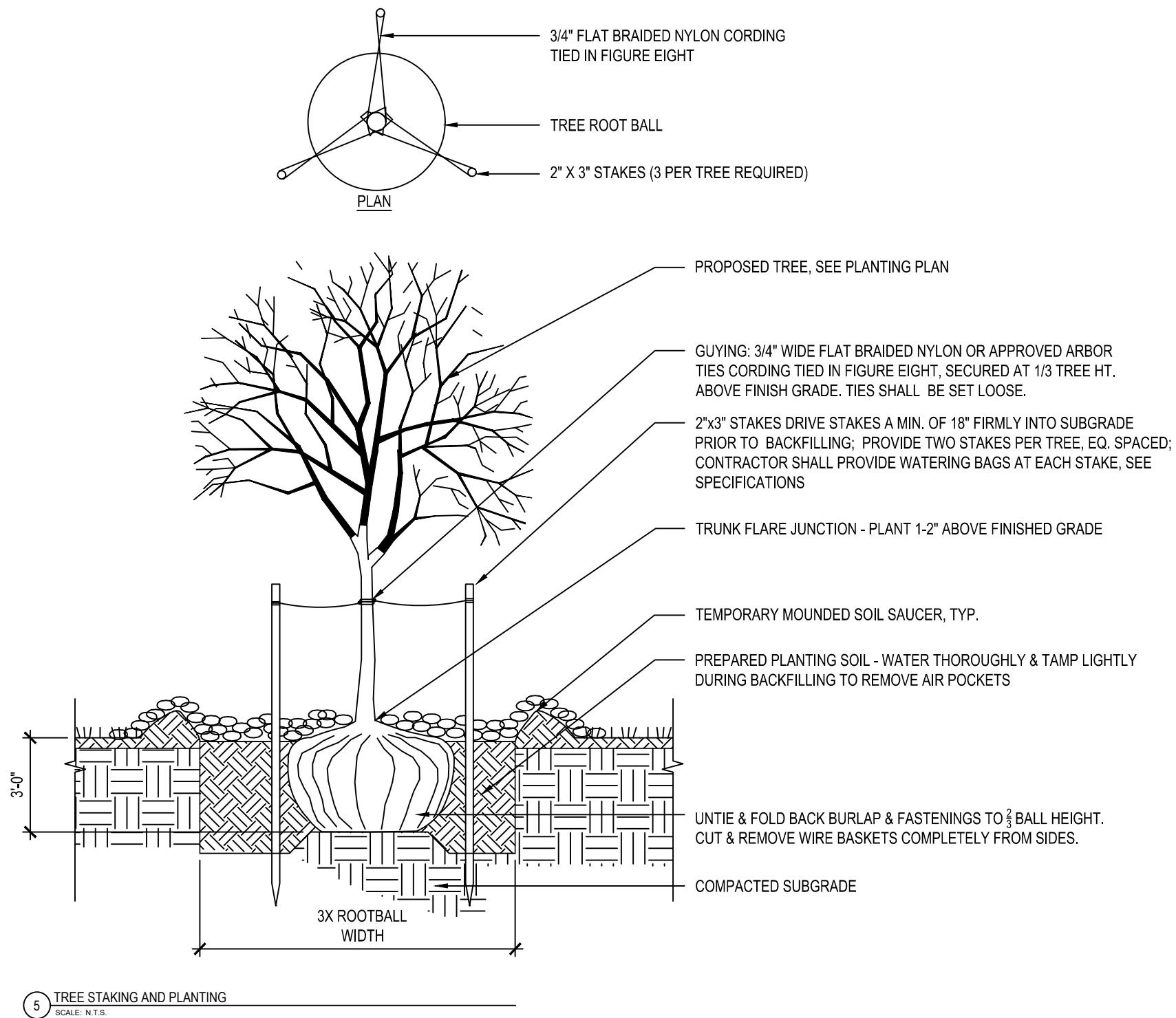
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C501

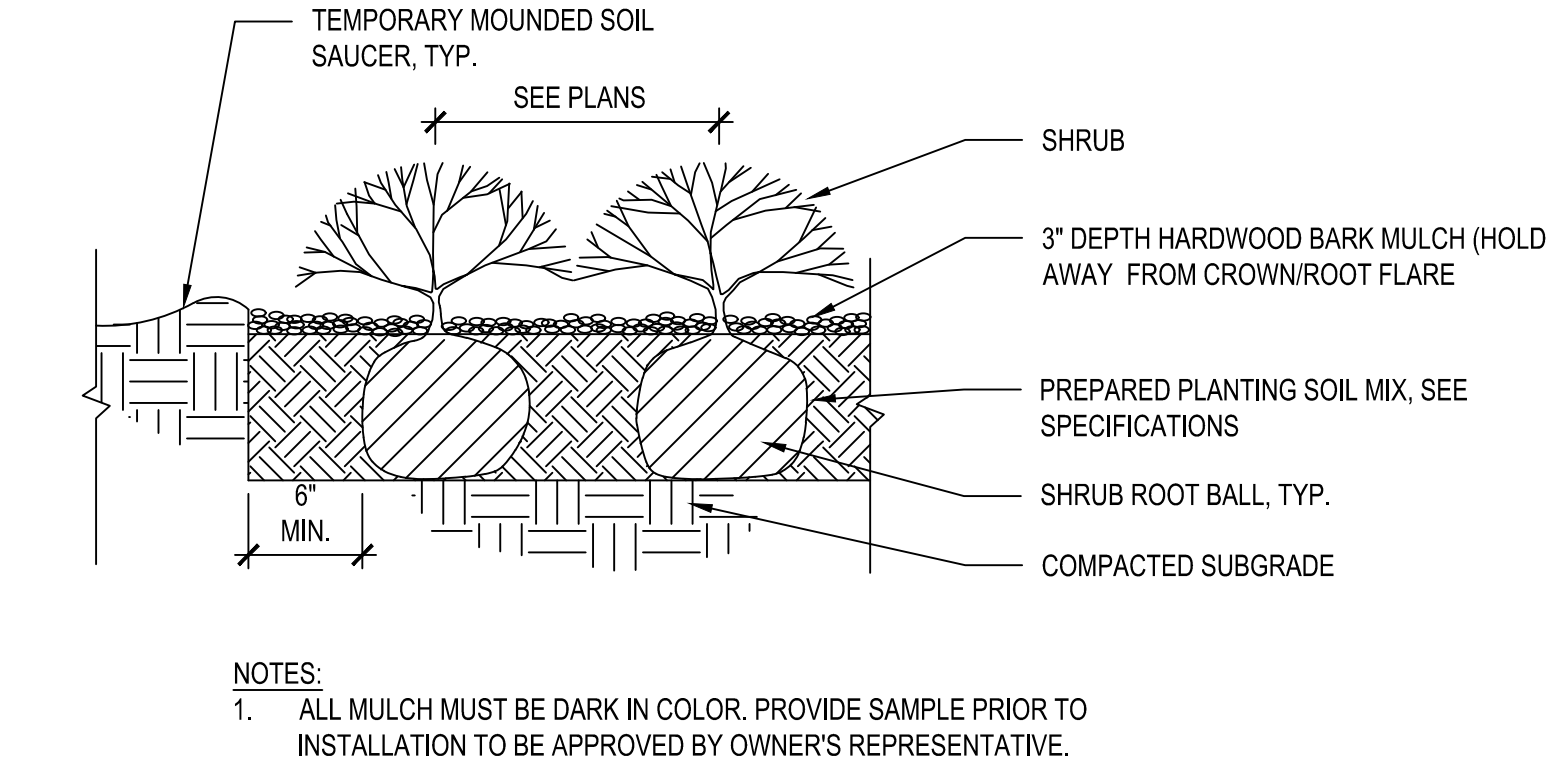
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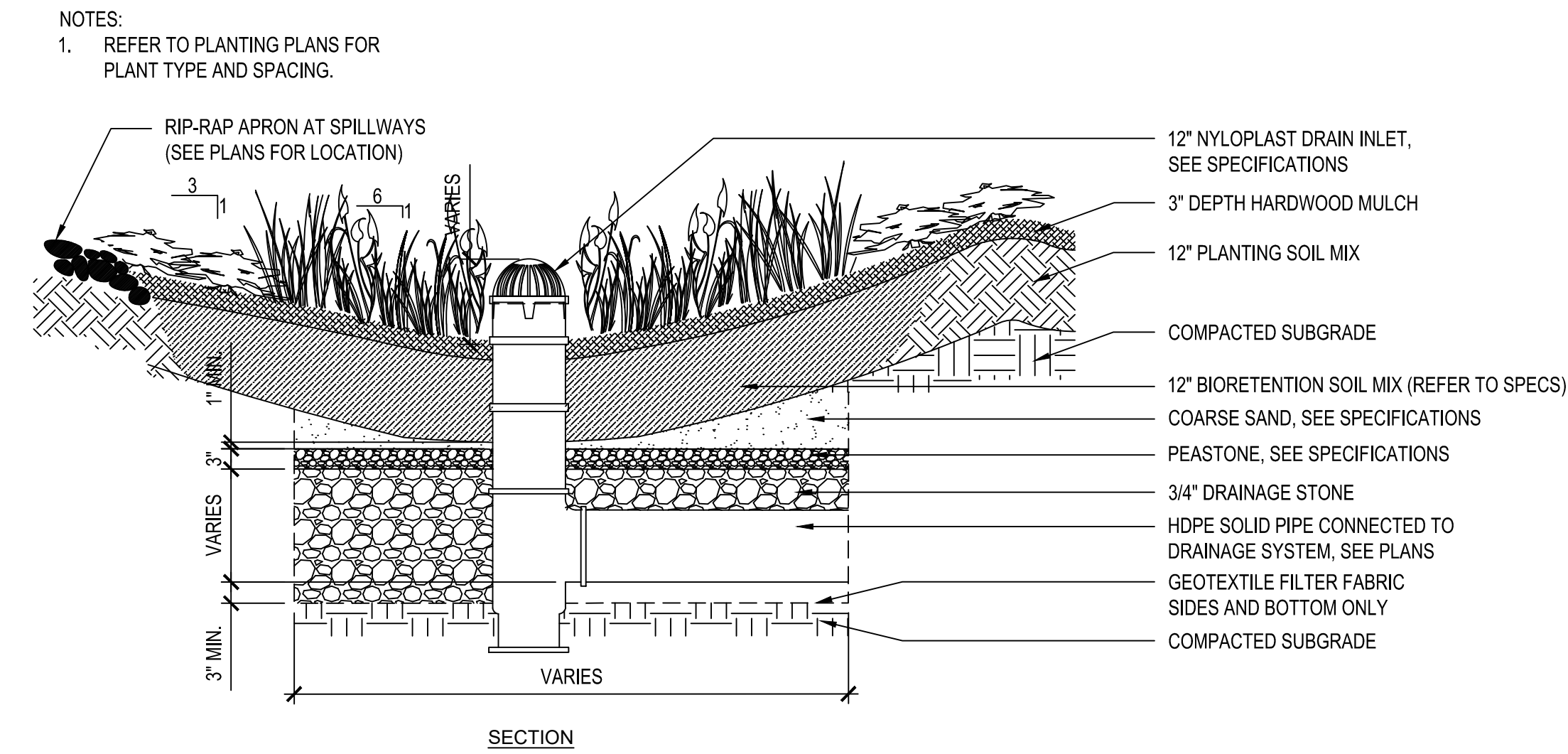
5 SHRUB & GROUNDCOVER PLANTING
SCALE: N.T.S.



6 TREE STAKING AND PLANTING
SCALE: N.T.S.



7 SHRUB PLANTING
SCALE: N.T.S.



8 BIORETENTION AREA CROSS-SECTION
SCALE: N.T.S.

PLANTING SCHEDULE

KEY	BOTANIC NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
TREES					
AC	AMELANCHIER LAEVIS 'CUMULUS'	ALLEGHENY SERVICEBERRY	4	2" - 2.5" CAL.	B+B, SINGLE-STEM
CC	CERCIS CANADENSIS	REDBUD	8	2" - 2.5" CAL.	B+B
MS	MALUS 'SPRING SNOW'	CRABAPPLE	5	2" - 2.5" CAL.	B+B
MZ	MALUS X ZUMI VAR. CALOCARPA	CRABAPPLE	4	2" - 2.5" CAL.	B+B
SR	SYRINGA RETICULATA 'IVORY SILK'	JAPANESE LILAC TREE	4	2" - 2.5" CAL.	B+B
SHRUBS					
AM2	ARONIA MELANOCARPA 'LOW SCAPE MOUND'	BLACK CHOKEBERRY	22	18" - 24"	---
CA4	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	SWEET PEPPERBUSH	35	18" - 24"	---
CS	CORNUS SERICEA 'KELSEY'	REDTWIG DOGWOOD	33	18" - 24"	---
VD	VIBURNUM DENTATUM 'BLUE MUFFIN'	ARROWWOOD VIBURNUM	21	24" - 36"	---
PERENNIALS					
AH	AMSONIA HUBRICTII	ARKANSAS BLUE-STAR	6	1 GAL.	SPACING AT 24" O.C.
SN2	ASTER NOVAE-ANGLIAE 'VIBRANT DOME'	NEW ENGLAND ASTER	7	1 GAL.	SPACING AT 24" O.C.
BC	BOUTELOUA CURTIPENDULA	SIDEOTS GRAMA	7	1 GAL.	SPACING AT 24" O.C.
ES	ERAGROSTIS SPECTABILIS	PURPLE LOVE GRASS	4	1 GAL.	SPACING AT 24" O.C.
RL	RUDBECKIA FULGIDA 'AMERICAN GOLD RUSH'	BLACK-EYED SUSAN	5	1 GAL.	SPACING AT 18" O.C.

NEW ENGLAND NATIVE WARM SEASON GRASS MIX - SPECIFICATION (SOURCE: NEW ENGLAND WETLAND PLANTS)

THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX CONTAINS A BROAD SPECTRUM OF NATIVE WARM SEASON GRASSES TO ENSURE THAT A VARIETY OF THE SPECIES WILL SURVIVE IN THE SANDY, DROUGHT CONDITIONS TYPICALLY FOUND ALONG ROADSIDES, GRAVEL MINE RECLAMATION AREAS, AND OTHER LOW FERTILITY WELL DRAINED SOIL CONDITIONS. THIS MIX IS SOMEWHAT SLOW TO GERMINATE AND ESTABLISH DURING THE FIRST YEAR OF PLANTING, BUT IT WILL PRODUCE GOOD COVER BY THE END OF THE SECOND GROWING SEASON TO PRODUCE LONG-LIVING NATIVE STANDS.

THE COOL SEASON GRASSES HAVE BEEN ADDED AS A "STARTER" SEED FOR EROSION CONTROL. THIS MIX HAS EXCELLENT HEAT AND DROUGHT TOLERANCE, AND GROWS BEST IN WELL DRAINED SOILS. WARM SEASON GRASSES PROVIDE EXCELLENT YEAR ROUND COVER AND FOOD FOR WILDLIFE, PARTICULARLY AS WINTER COVER FOR SMALL ANIMALS. THIS MIX CAN BE APPLIED BY HYDRO-SEEDING, BY MECHANICAL SPREADER OR BY HAND. BEST RESULTS ARE OBTAINED WITH A MID-LATE SPRING SEEDING.

APPLICATION RATE: 23 LB/ACRE | 1900 SQ FT/LB

SPECIES: LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), INDIAN GRASS (SORGHASTRUM NUTANS), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM).

9 GRASS SEED MIX SPECIFICATIONS
SCALE: N.T.S.

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LANDSCAPE
DETAILS

Sheet Number:

L500